

**KEY**

Protected tree area - 10521522.10 - refer to landscape plan

SCHEDULE OF PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
SEWAGE PUMP STATION	U	LOT 500	TBC
RIGHT TO CONVEY SEWAGE AND WATER	A, S, C-N		
RIGHT TO PUMP WATER	V		
RIGHT TO CONVEY WATER	W		
RIGHT TO CONVEY ELECTRICITY	A, S, C-N		
RIGHT TO CONVEY TELECOMMUNICATIONS	A, S, C-N		
ADDITIONAL SERVICE EASEMENTS WILL BE REQUIRED			

SCHEDULE OF PROPOSED EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY	A	LOT 500	LOT 1 - 25 & 50
	B		LOTS 2 - 4
	C		LOT 1
	D		LOT 8
	E		LOTS 5 - 7
	F		LOTS 10 - 13
	G		LOT 9
	H		LOT 17
	I		LOTS 14 - 16
	J		LOTS 21 - 23
	L		LOTS 19 - 20
	M		LOT 25
	S		LOTS 50
PEDESTRIAN RIGHT OF WAY	O	LOT 11	LOT 10
	R	LOT 10	LOT 11
	P	LOT 3	LOT 4
	Q	LOT 4	LOT 3
ADDITIONAL SERVICE EASEMENTS WILL BE REQUIRED			

ISSUED FOR REVIEW - 23.4.21

CLIENT  
**B PROPERTY GROUP**

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**LOTS 1 - 25, 50 & 500  
BEING A SUBDIVISION OF LOT 100 DP 494333  
BOB'S COVE**

REV.	DATE	REVISION DETAILS	BY	SURVEYED	SIGNED	DATE	JOB NO.	DRAWING NO.
A	4.02.21	INITIAL	CW	-	-	-	19184	06.01A
B	23.4.21	LOT LAYOUT	CW					
C	4.11.21	LOT LAYOUT	CW					

DRAWN	CHECKED	DATE	SCALE
CW	CW	04.11.21	1:1000m @ A3

DATUM & LEVEL	REV.
MT NIC 2000 - NZVD16	C



**KEY**

Protected tree area - 10521522.10 - refer to landscape plan

SCHEDULE OF PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
SEWAGE PUMP STATION	U	LOT 500	TBC
RIGHT TO CONVEY SEWAGE AND WATER	A, S, C-N		
RIGHT TO PUMP WATER	V		
RIGHT TO CONVEY WATER	W		TBC
RIGHT TO CONVEY ELECTRICITY	A, S, C-N		AURORA ENERGY
RIGHT TO CONVEY TELECOMMUNICATIONS	A, S, C-N		CHORUS NZ LTD
ADDITIONAL SERVICE EASEMENTS WILL BE REQUIRED			

SCHEDULE OF PROPOSED EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY	A	LOT 500	LOT 1 - 25 & 50
	B		LOTS 2 - 4
	C		LOT 1
	D		LOT 8
	E		LOTS 5 - 7
	F		LOTS 10 - 13
	G		LOT 9
	H		LOT 17
	I		LOTS 14 - 16
	J		LOTS 21 - 23
PEDESTRIAN RIGHT OF WAY	L	LOT 11	LOTS 19 - 20
	M		LOT 25
	S		LOTS 50
	N,T		LOT 10
	O		LOT 11
	R	LOT 10	LOT 11
	P	LOT 3	LOT 4
	Q	LOT 4	LOT 3
ADDITIONAL SERVICE EASEMENTS WILL BE REQUIRED			

ISSUED FOR REVIEW - 23.4.21

Section 28 Blk V Mid

**JECA**  
TOWN PLANNERS & SURVEYORS  
Level 2, 38 Shotover Street  
PO Box 95, Queenstown, 9308

CLIENT  
**B PROPERTY GROUP**

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**LOTS 1 - 25, 50 & 500  
BEING A SUBDIVISION OF LOT 100 DP 494333  
BOB'S COVE**

REV.	DATE	REVISION DETAILS	BY	SURVEYED	SIGNED	DATE	JOB NO.	DRAWING NO.
A	4.02.21	INITIAL	CW	-	-	-	19184	06.01A
B	23.4.21	LOT LAYOUT	CW					
C	4.11.21	LOT LAYOUT	CW					

DRAWN	CHECKED	DATE	SCALE
CW	CW	04.11.21	1:500m @ A3

DATUM & LEVEL  
**MT NIC 2000 - NZVD16**

REV.  
**B**



**EARTHWORKS DEPTH KEY:**

	Fill Depth 0.15m to 0.5m		Cut Depth 0.15m to 0.5m
	Fill Depth 0.5m to 1.0m		Cut Depth 0.5m to 1.0m
	Fill Depth 1.0m to 1.5m		Cut Depth 1.0m to 1.5m
	Fill Depth 1.5m to 2.0m		Cut Depth 1.5m to 2.0m
	Fill Depth 2.0m to 2.5m		Cut Depth 2.0m to 2.5m
			Cut Depth 2.5m to 3.0m
			Cut Depth 3.0m to 3.5m

**EARTHWORKS SUMMARY**

<u>Volumes</u>	
Cut	2,720m <sup>3</sup>
Fill	3,047m <sup>3</sup>
Area	7,138m <sup>2</sup>

**NOTES**

- Original ground surface supplied by PPG in combination with surveys completed by JEA.
- Boundaries are sourced from LINZ.
- Contour interval 1.0m.
- No allowance has been made for topsoil.
- Cut/fill between +/-0.20m have not been shown, these will be assessed onsite at the time of construction.

ISSUED FOR REVIEW - 6.7.21

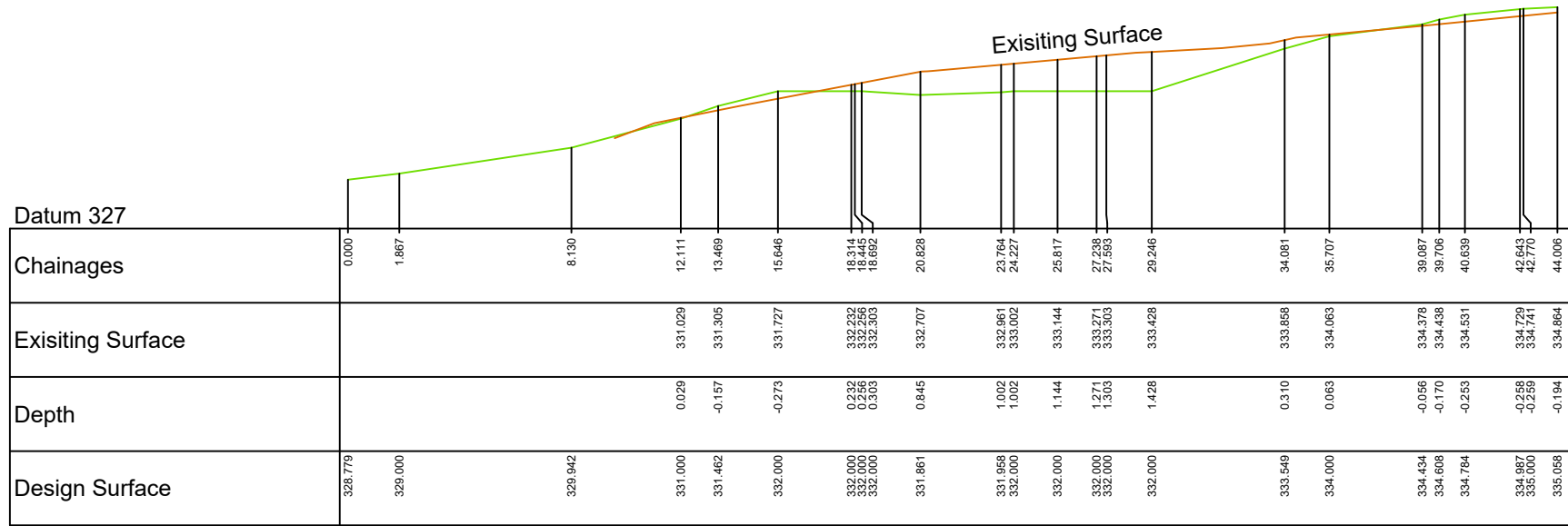
Level 2, 36 Shotover Street  
PO Box 95, Queenstown, 9300

CLIENT  
**B Property Group**

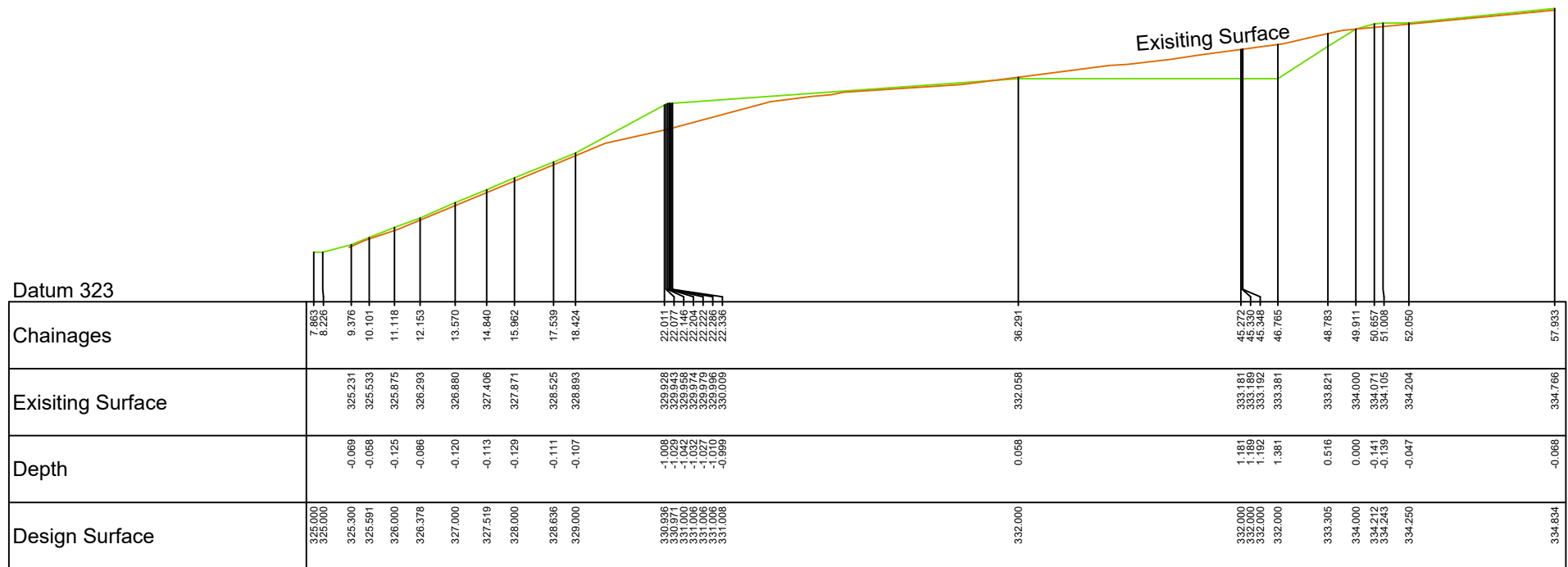
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**Earthworks Plan - Sheet 1 of 4**  
**Waimarino Development**  
**Bobs Cove**

REV.	DATE	REVISION DETAILS	BY	SURVEYED	SIGNED	DATE	JOB NO.	DRAWING NO.
B	6.7.21	VILLA AMENDMENTS	CW	CW	CW	Varies	19184	04.01
C	7.9.21	WINE CELLAR	CW					
D	4.11.21	VILLA AMENDMENTS	CW	DRAWN	CHECKED	DATE	SCALE	
				CW	CW	04.11.21		1:1 @ A3
DATUM & LEVEL								REV.
MT NIC 2000 - NZVD16								D



**Section A**



**Section B**

ISSUED FOR REVIEW - 4.6.21

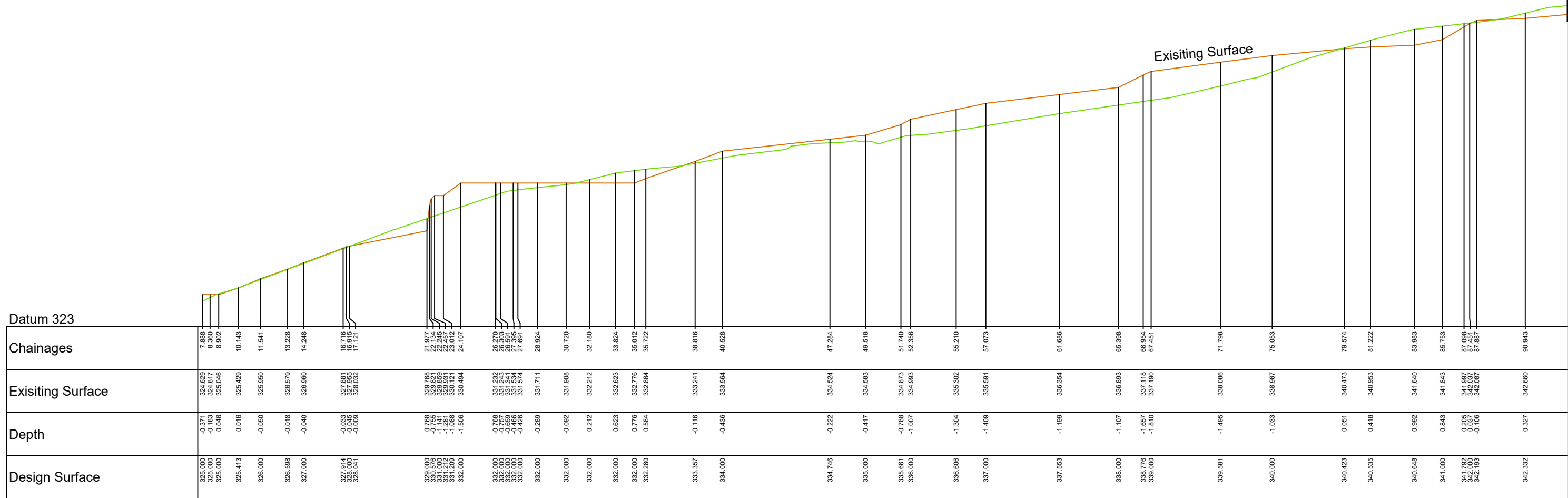


CLIENT  
**B Property Group**

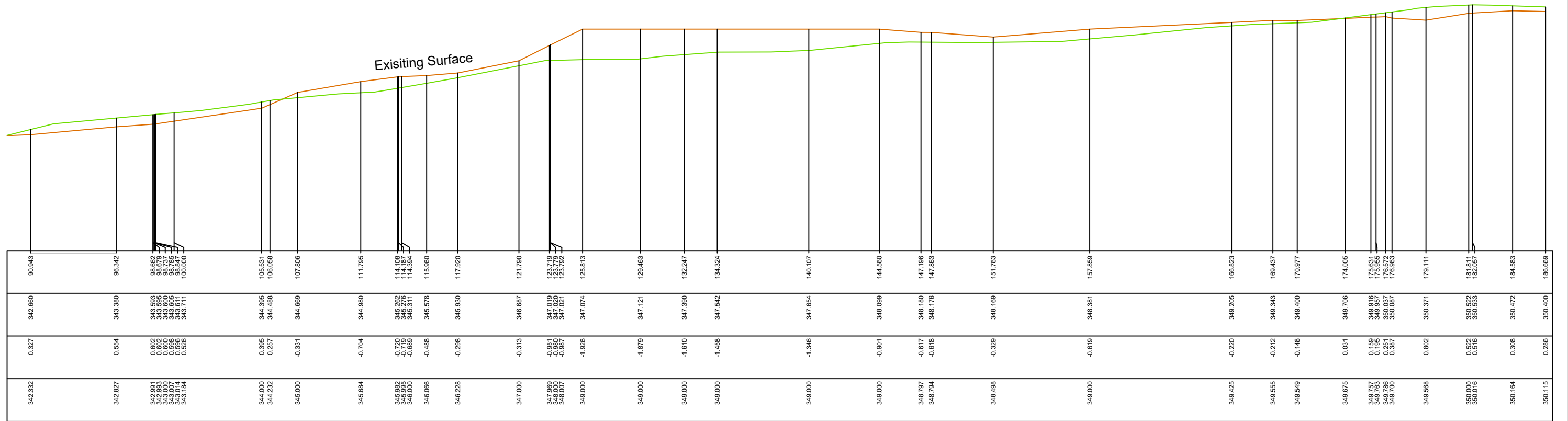
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**Earthworks Plan - Sections - Sheet 2 of 4**  
**Waimarino Development**  
**Bobs Cove**

REV.	DATE	REVISION DETAILS	BY	SURVEYED	SIGNED	DATE	JOB NO.	DRAWING NO.
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DATUM & LEVEL <b>MT NIC 2000 - NZVD16</b>								REV. -



Section C



Section C

ISSUED FOR REVIEW - 4.6.21

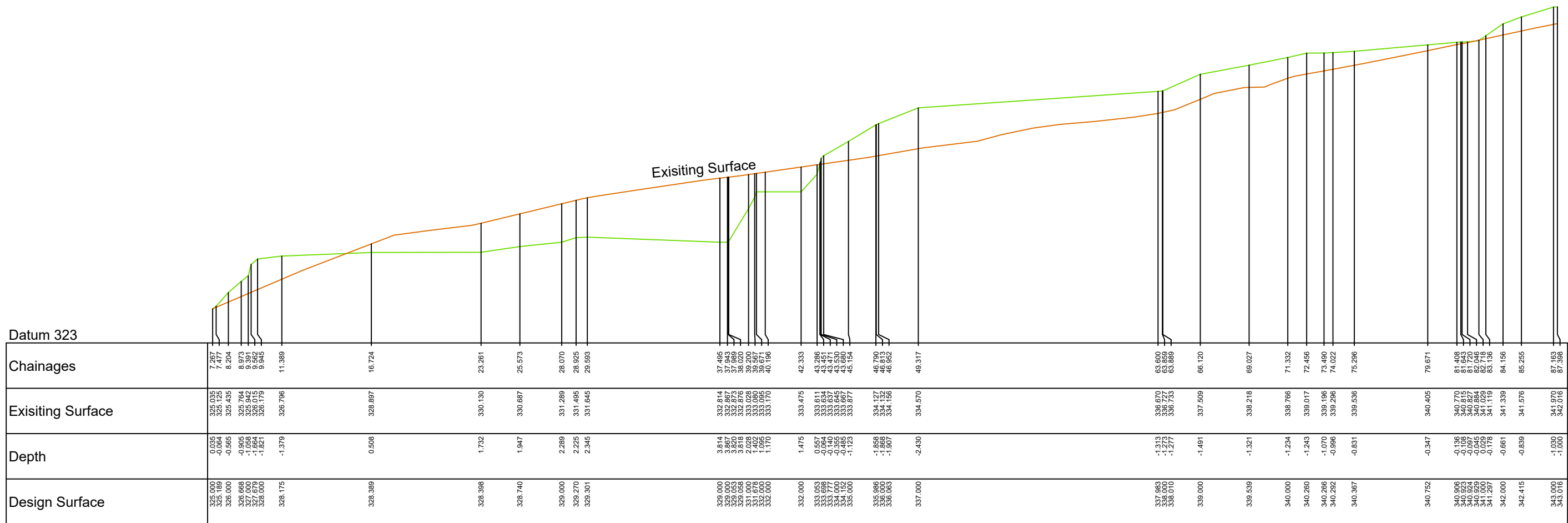


CLIENT  
**B Property Group**

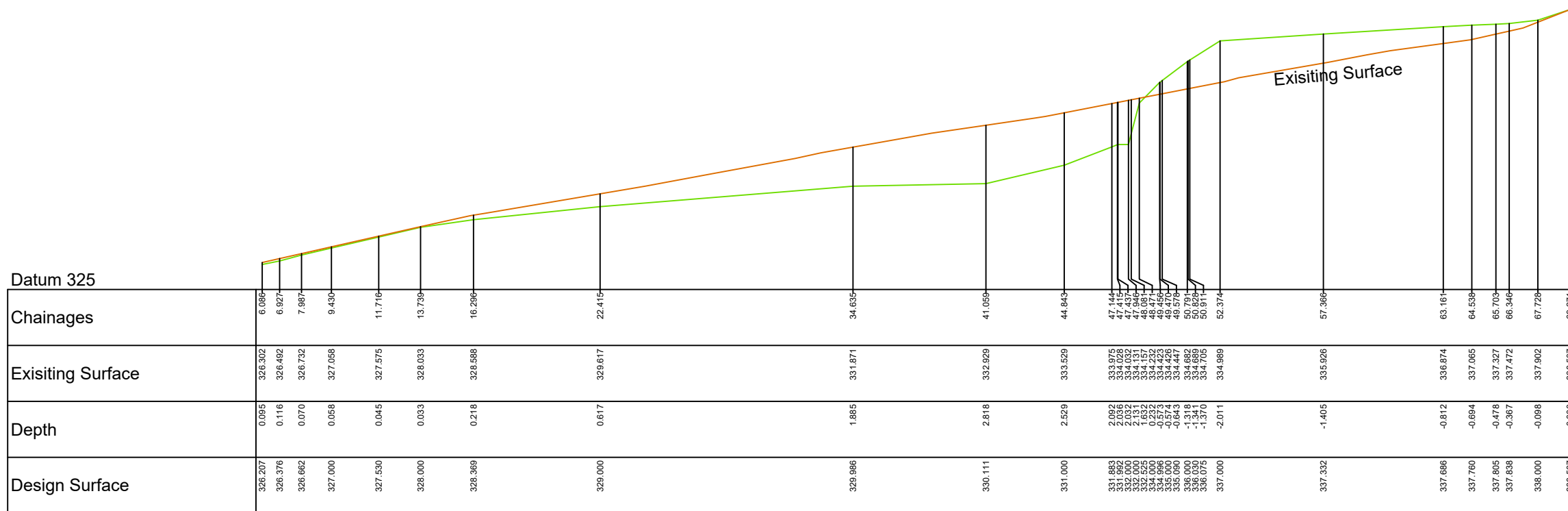
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**Earthworks Plan - Sections - Sheet 3 of 4**  
**Waimarino Development**  
**Bobs Cove**

REV.	DATE	REVISION DETAILS	BY	SURVEYED	SIGNED	DATE	JOB NO.	DRAWING NO.
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DATUM & LEVEL <b>MT NIC 2000 - NZVD16</b>								REV. -



Section D



Section E

ISSUED FOR REVIEW - 4.6.21

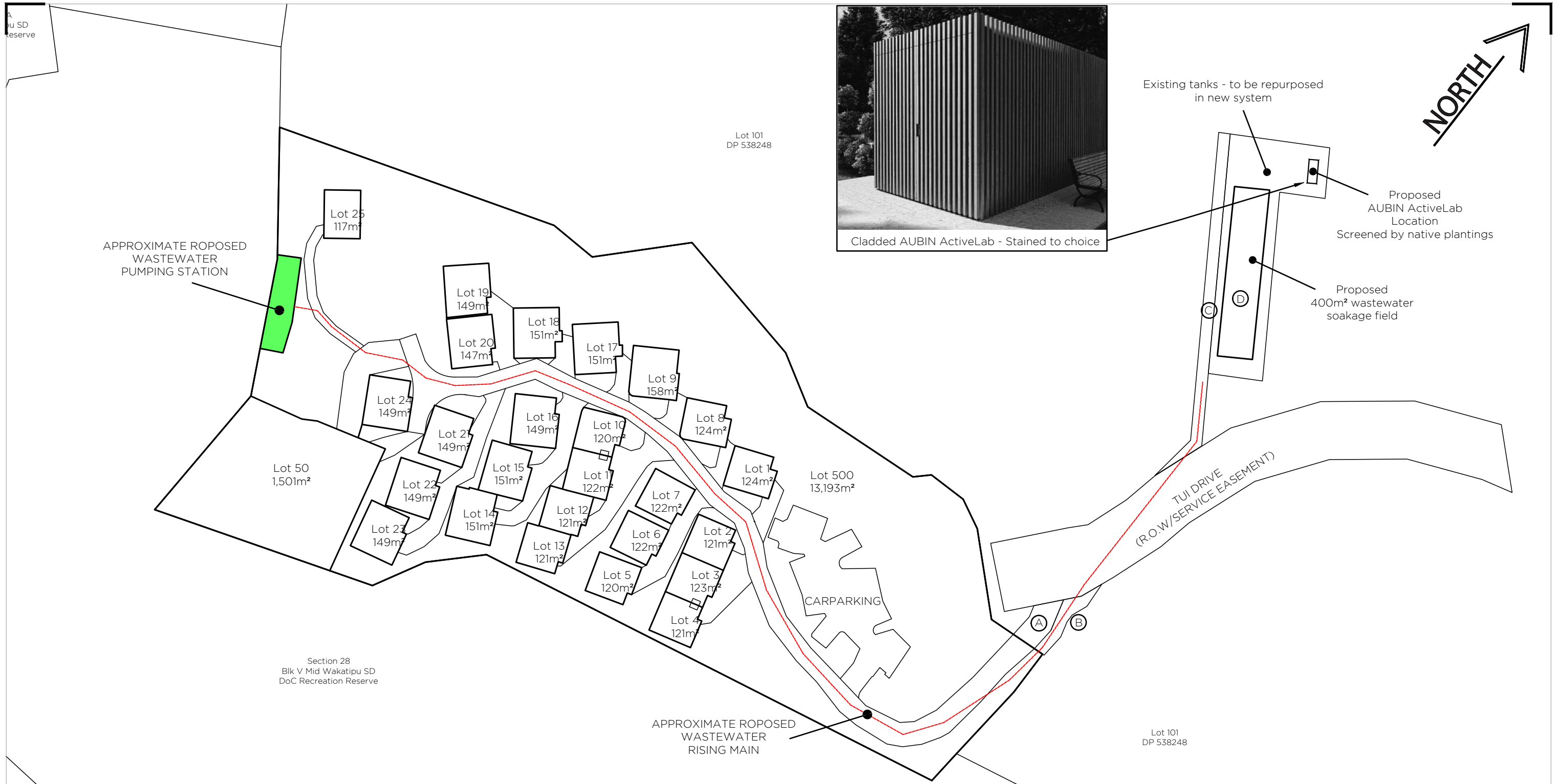


CLIENT  
**B Property Group**

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**Earthworks Plan - Sections - 4 of 4**  
**Waimarino Development**  
**Bobs Cove**

REV.	DATE	REVISION DETAILS	BY	SURVEYED	SIGNED	DATE	JOB NO.	DRAWING NO.
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				DRAWN	CHECKED	DATE	SCALE	
				CW	CW	04.11.21	1:250 @ A3	
DATUM & LEVEL <b>MT NIC 2000 - NZVD16</b>								REV. -



Existing Easements	
Area shown	Document
Area A -	10521522.5
Area B, C -	10521522.7, 10521522.6
Area D -	6191527.10

ISSUED FOR REVIEW - 15.6.21



CLIENT  
**B PROPERTY GROUP**

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## PROPOSED WASTEWATER LAYOUT WAIMARINO BOB'S COVE

REV.	DATE	REVISION DETAILS	BY	SURVEYED	SIGNED	DATE	JOB NO.	DRAWING NO.
-	-	-	-	-	-	-	19184	05.03A
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DATUM & LEVEL								REV.
MT NIC 2000 - NZVD16								-

# Waimarino Lodge

Bobs Cove, Queenstown



Client: B Property Group



# Drawing List

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ID	Layout
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A02	Drawing List
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A07	Restaurant & Distillery
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A11	Premium Villa Image
A12	Restaurant Floor Plan
A13	Restaurant Image
A14	Yoga Studio + Spa Floor Plan
A15	Yoga Studio Image
A16	Owner's Residence Ground Plan
A17	Owner's Residence First Floor Plan
A18	Owner's Residence Image
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A20	Distillery Basement Floor Plan
A21	Distillery Image
A22	Manager's Residence Floor Plan
A23	Reception Floor Plan
A24	Sauna Floor Plan
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A29	Premium Unit Elevations
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A34	Owner's Residence Elevations
A35	Owner's Residence Elevations
A36	Distillery Elevations
A37	Distillery Elevations
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A39	Manager's Residence Elevations
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A42	Sauna Elevations
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A46	Section F
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A48	Sections JKL
A49	Sections HIMNO
A50	Sections PQR
A51	Sections ST
A52	3D Height Breaches



- BUILDING COVERAGE**
- Standard villas x10 @ 55.37m<sup>2</sup> ea
  - Premium villas x8 @ 73.5m<sup>2</sup> ea
  - Standard villas with high deck x2 @ 76.79m<sup>2</sup> ea
  - Premium villas with high deck x4 @ 100.75m<sup>2</sup> ea
  - Dual-key villas extra x2 @ 5.01m<sup>2</sup> ea
  - Reception 51.5m<sup>2</sup>
  - Manager's residence 46.21m<sup>2</sup>
  - Restaurant 215.5m<sup>2</sup>
  - Yoga studio & spa 91.91m<sup>2</sup>
  - Distillery 67.88m<sup>2</sup>
  - Sauna 14.01m<sup>2</sup>
  - Shed 35m<sup>2</sup>
  - Pool 40.87m<sup>2</sup>
  - Owner's residence 441.47m<sup>2</sup>

Main site area 18,081.85m<sup>2</sup>  
 Main built area 2,712.65m<sup>2</sup>  
 15% building coverage

Note: site coverage is calculated from the exterior face of the cladding. Decks under 1m from the ground are not included.

**NOTE**  
 PV panels on the roofs of the top row of villas and the reception and the manager's residence

**FIRE SAFETY CONSIDERATIONS:**  
 We have been in consultation with the Rural Fire Service and have agreed that the development will include the following;  
 External Drencher System, to suppress any fire originating from within the development or from the surrounding doc land.  
 Internal Sprinkler System.  
 Landscape Management Plan.  
 Evacuation Plans to be established.  
 Early warning and communication system to warn guests.  
 The above will be developed during the detailed design stage, with input and approval from FENZ. Please refer to the appended email correspondence with FENZ.



- KEY
- site boundary
  - - - adjacent parcel boundaries
  - / / / consented development areas
  - ★ indigenous trees (protected)

# Construction and Landscaping Staging Plan

Scale 1:1000

Construction and Landscaping Staging Plan  
(indicative only, tbc by contractor)

Each landscape stage will begin once the foundation, retaining and inground services have been established for the previous building stage. A 1.5 - 2m space will be left around each building for scaffold and access during the build. Landscaped areas will be established and fenced off as soon as possible. Once the building stage is complete the remaining space directly around the building will be landscaped.

- Stage 1 buildings
- Stage 1 landscaping
- Stage 2 buildings
- Stage 2 landscaping
- Stage 3 buildings
- Stage 3 landscaping
- Stage 4 landscaping, once the site yard and temp office have been removed

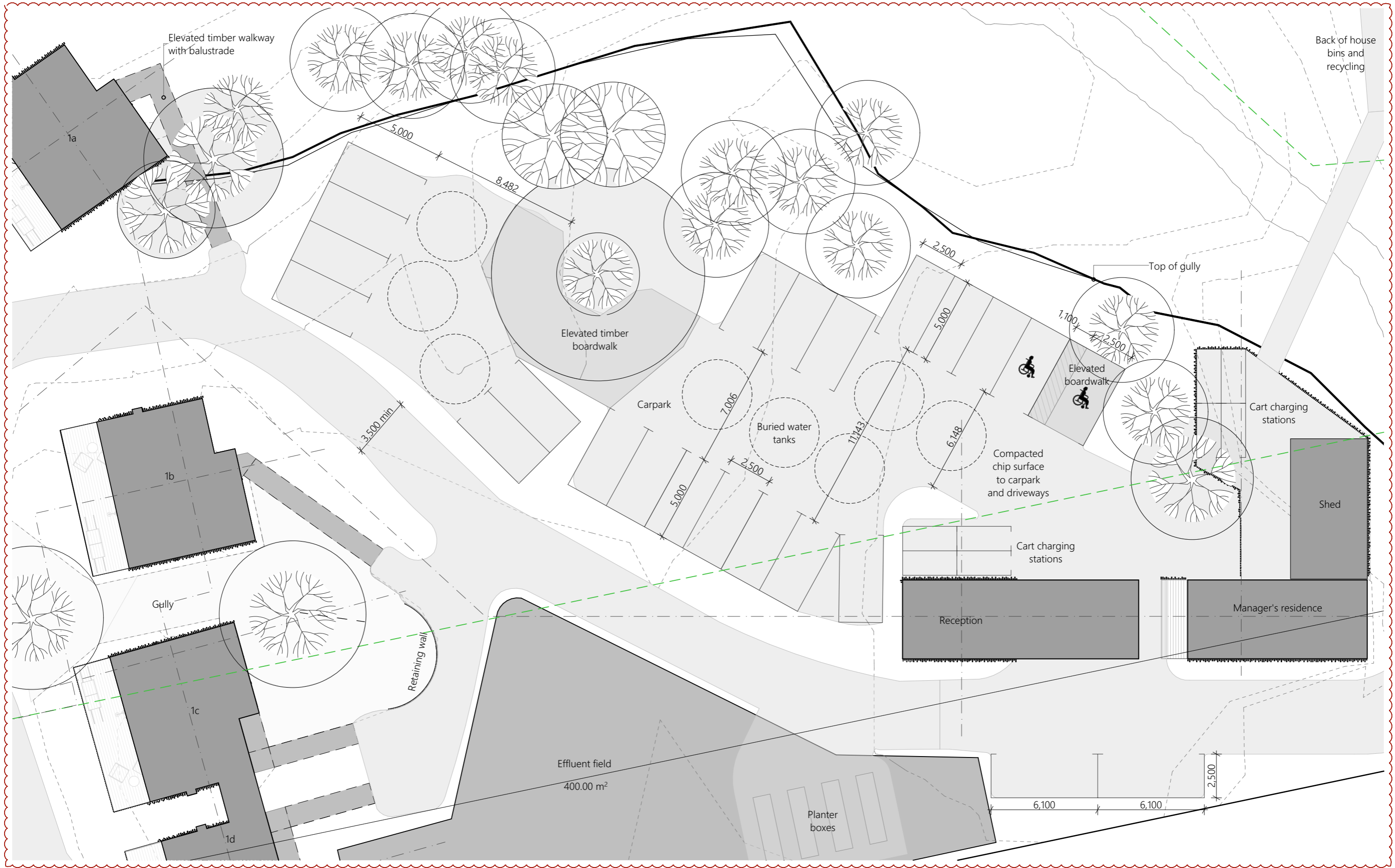


Distillery  
Restaurant  
Sauna

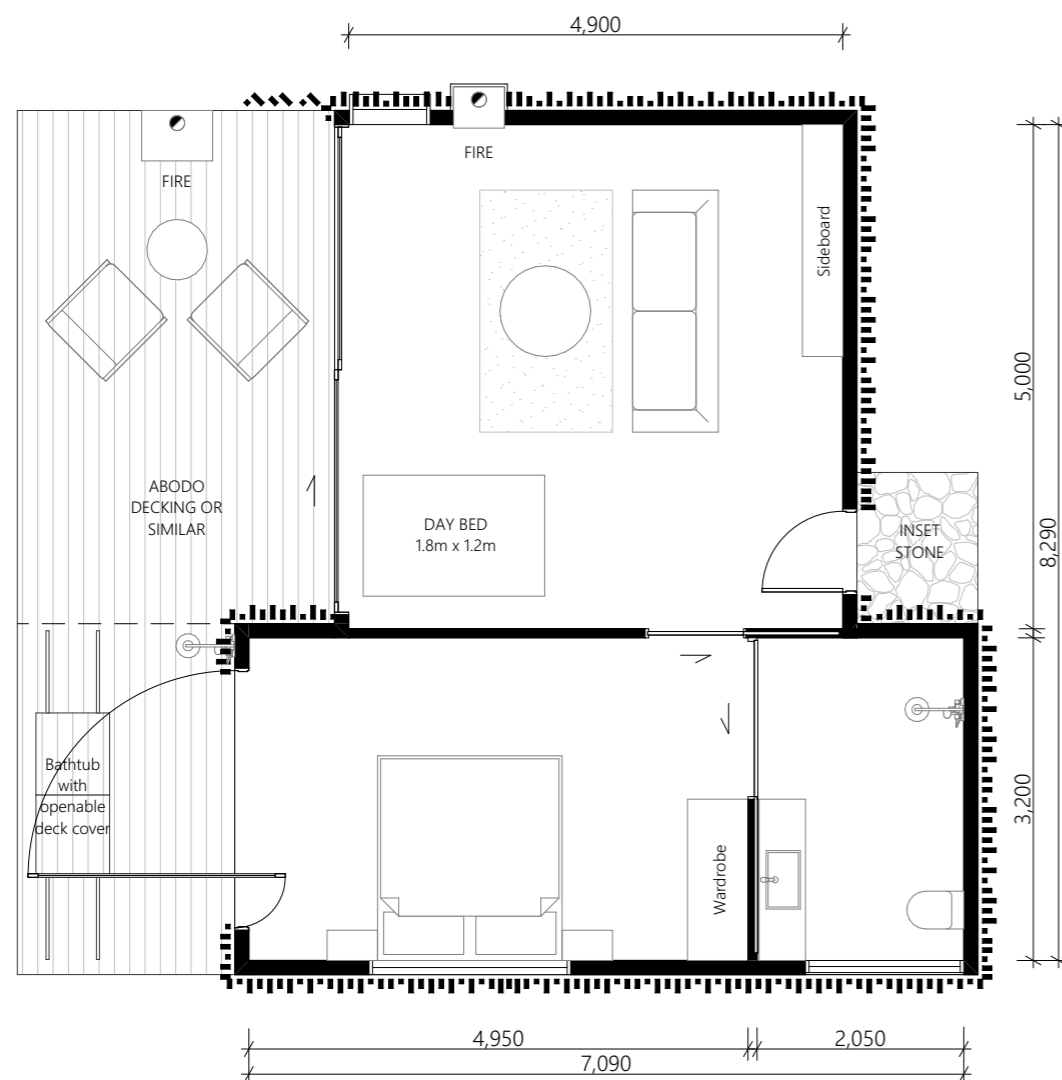
Yoga studio  
Spa  
Pool

Owner's residence (two levels)

400.00 m<sup>2</sup>  
Shed  
Manager's residence  
Reception  
Standard villa (dual-key)  
Standard villa  
Premium villa

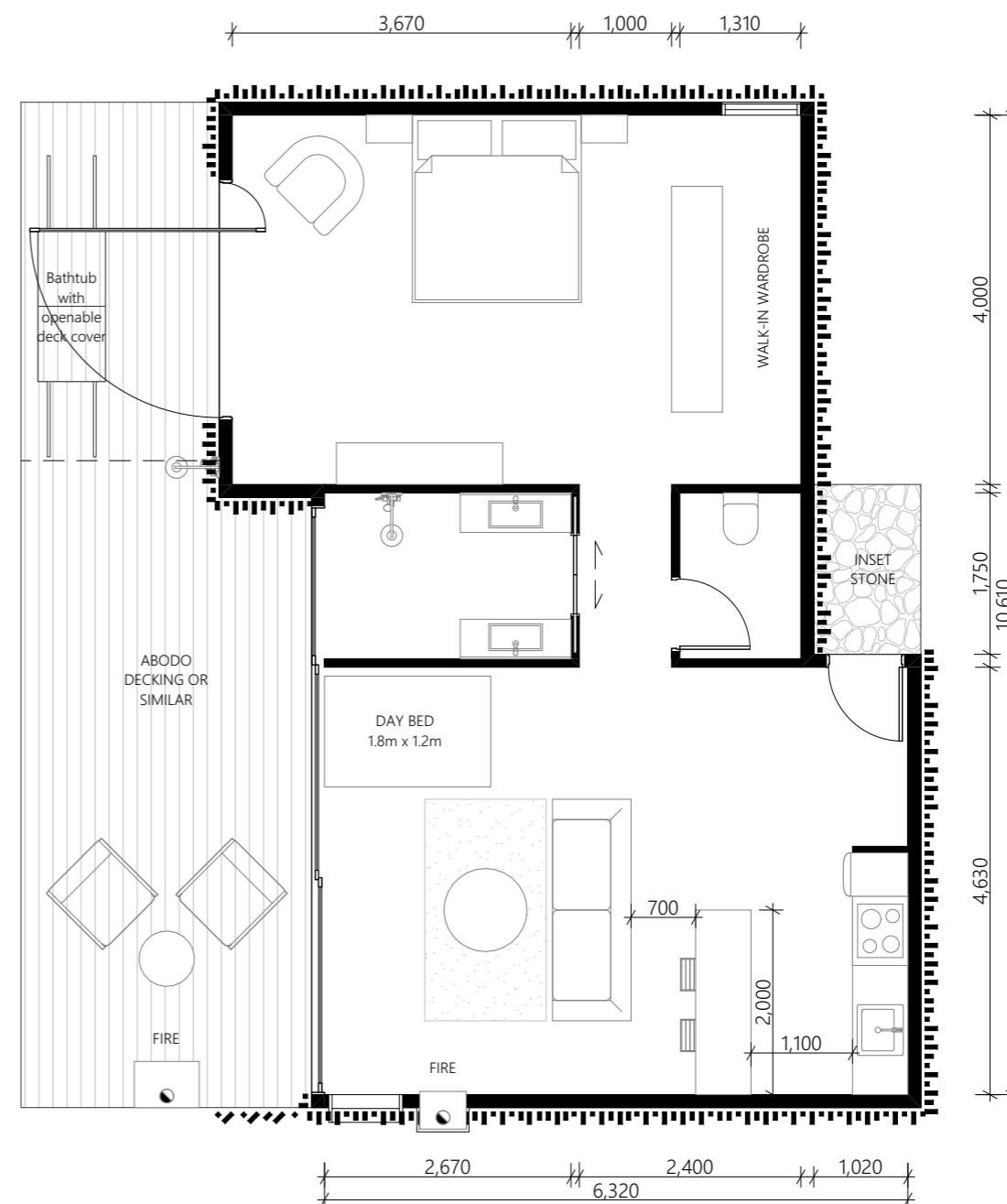






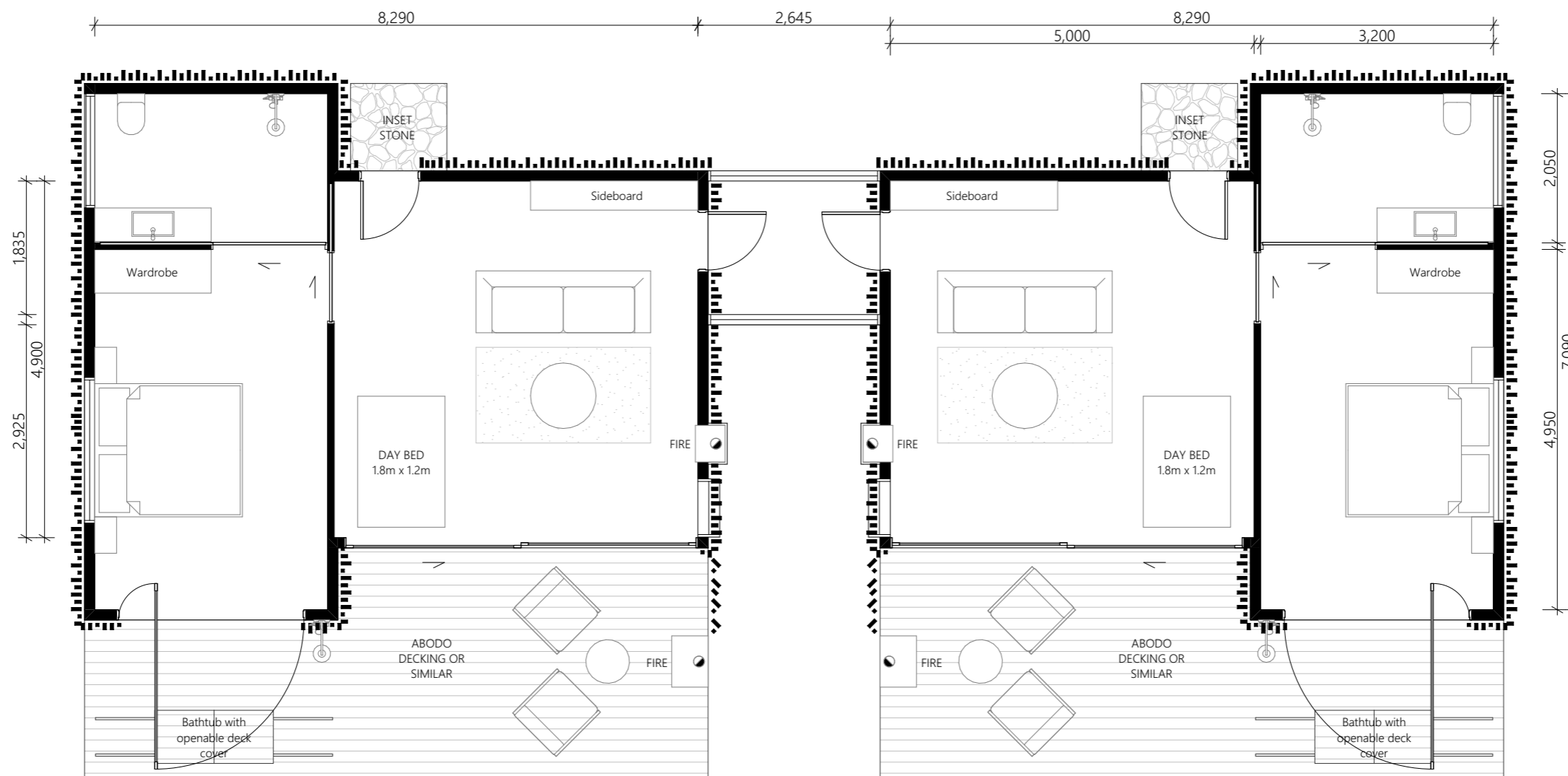
**Standard Villa**

Scale 1:75



**Premium Villa**

Scale 1:75



**Dual-Key Villa**

Scale 1:75

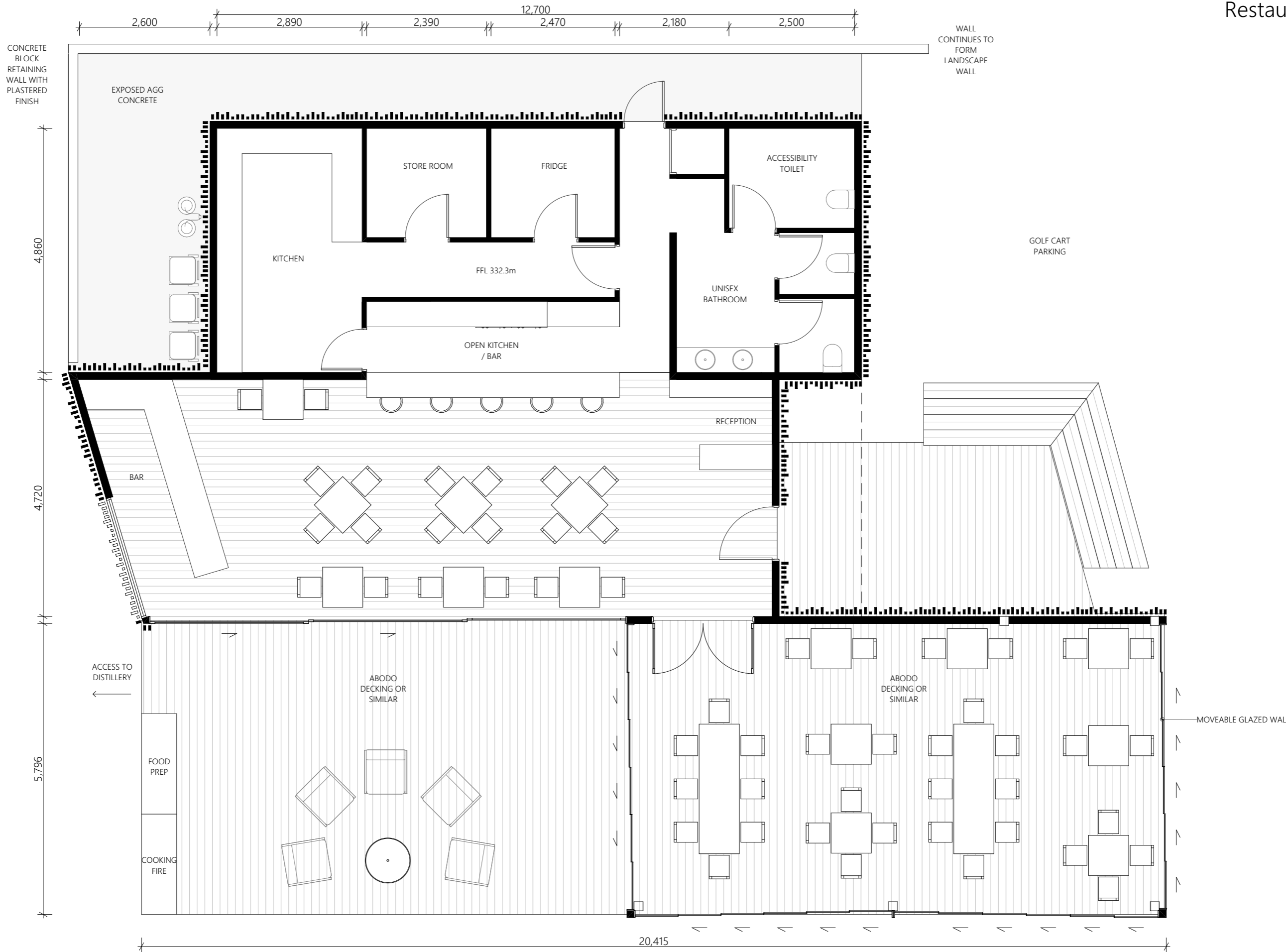




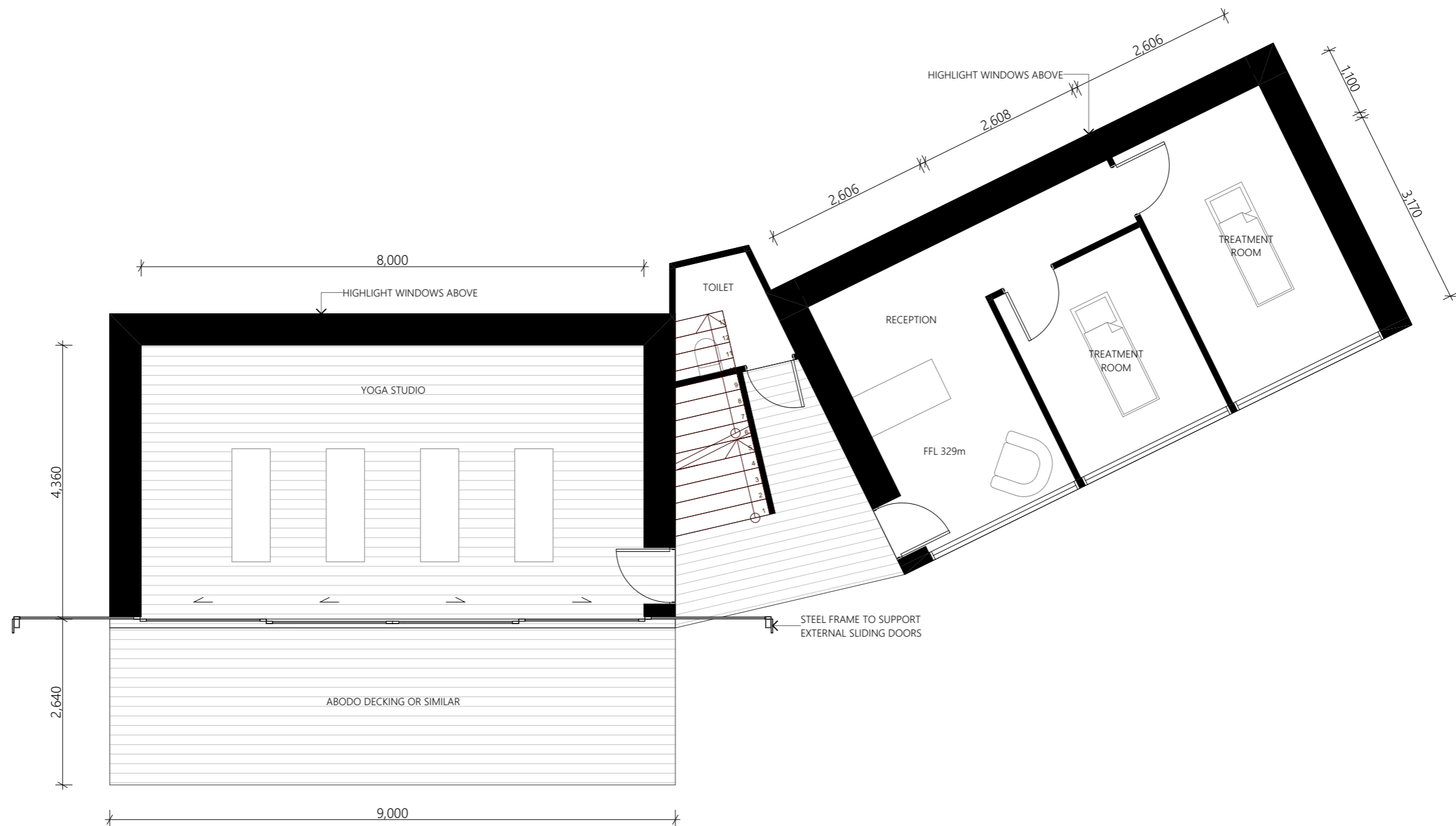


# Restaurant Floor Plan

Scale 1:75









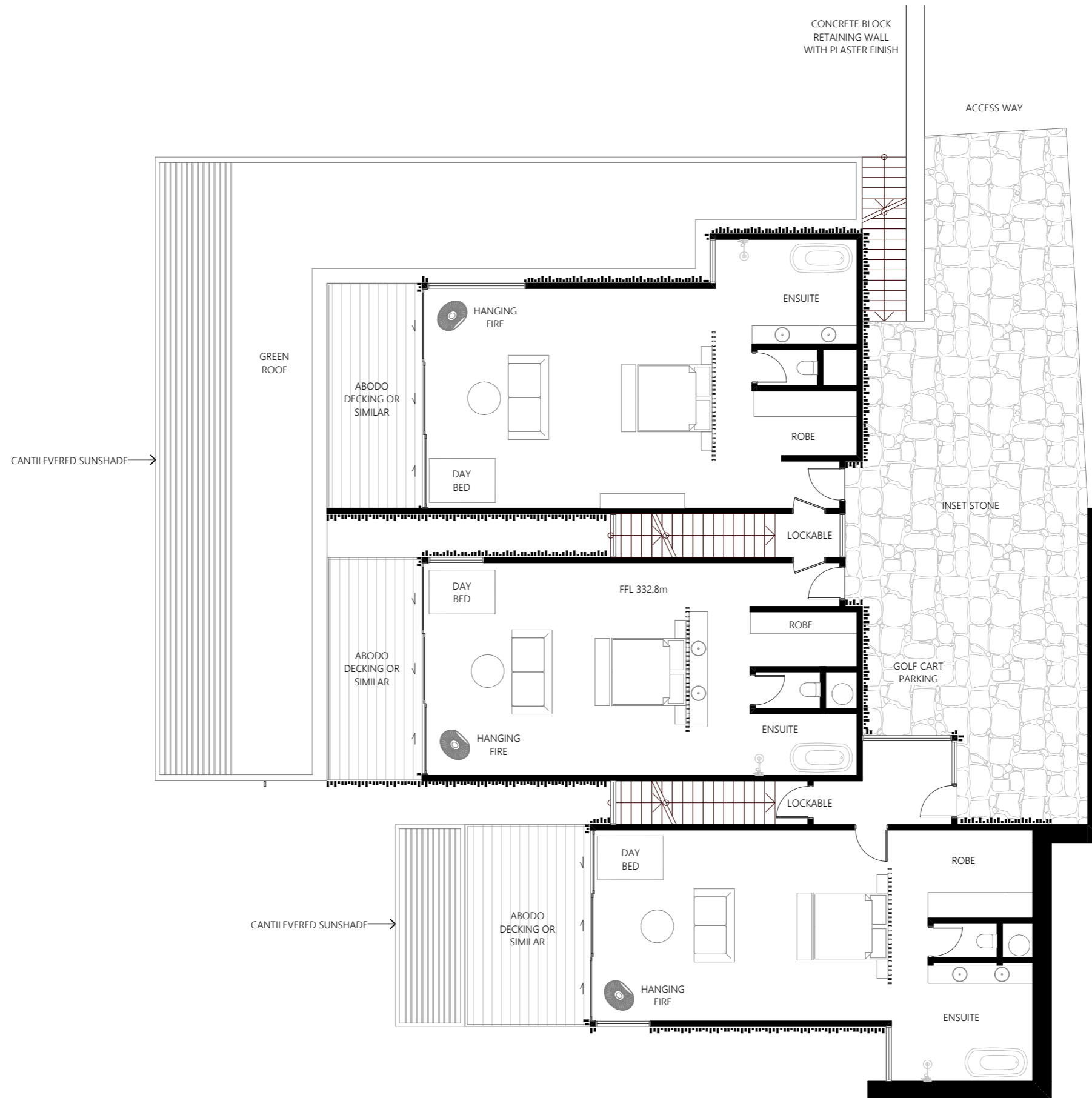
# Owner's Residence Ground Plan

Scale 1:125



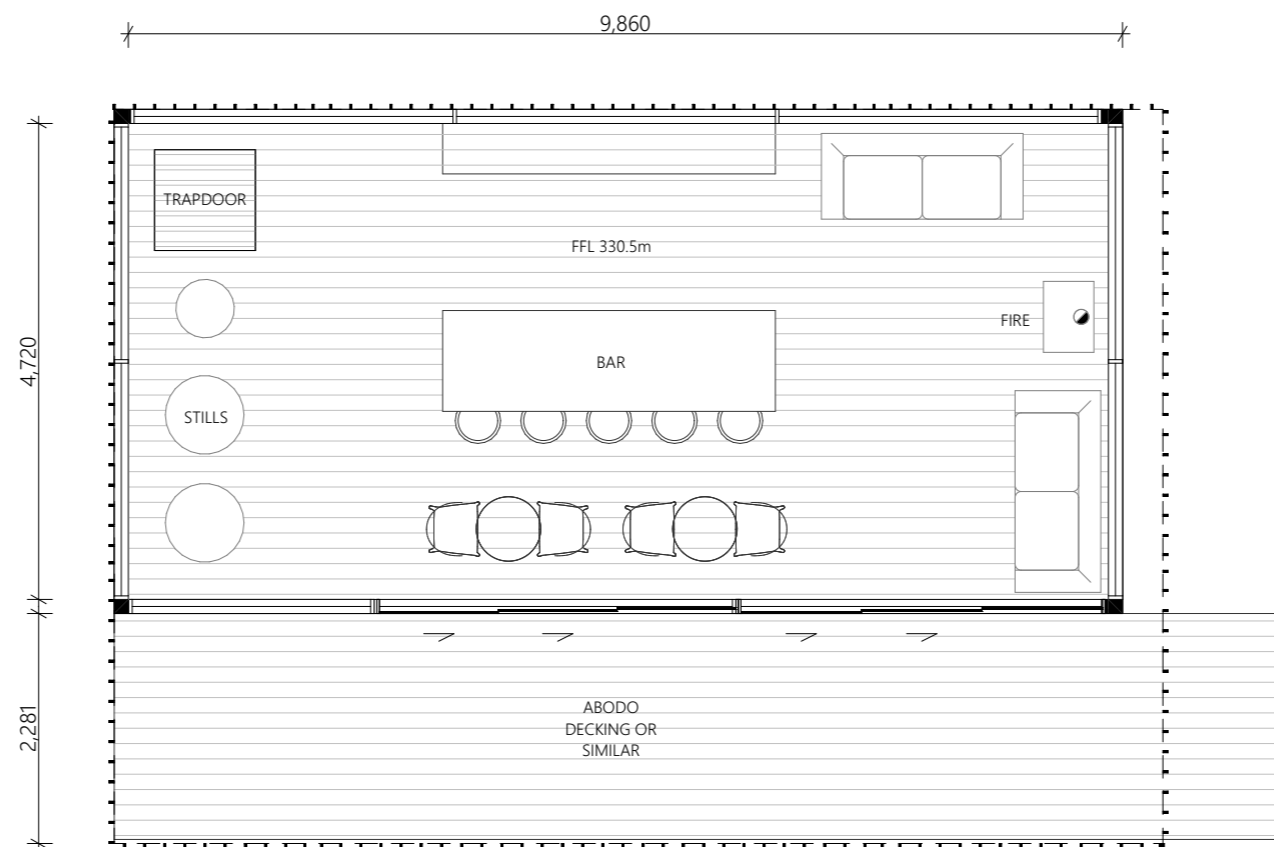
# Owner's Residence First Floor Plan

Scale 1:125



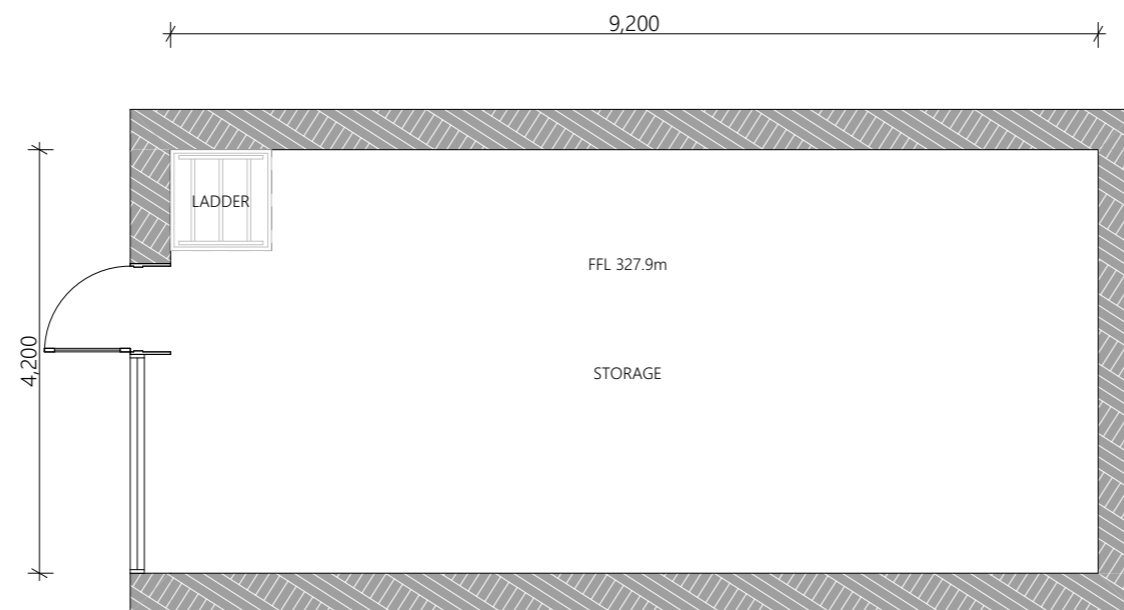






# Distillery Basement Floor Plan

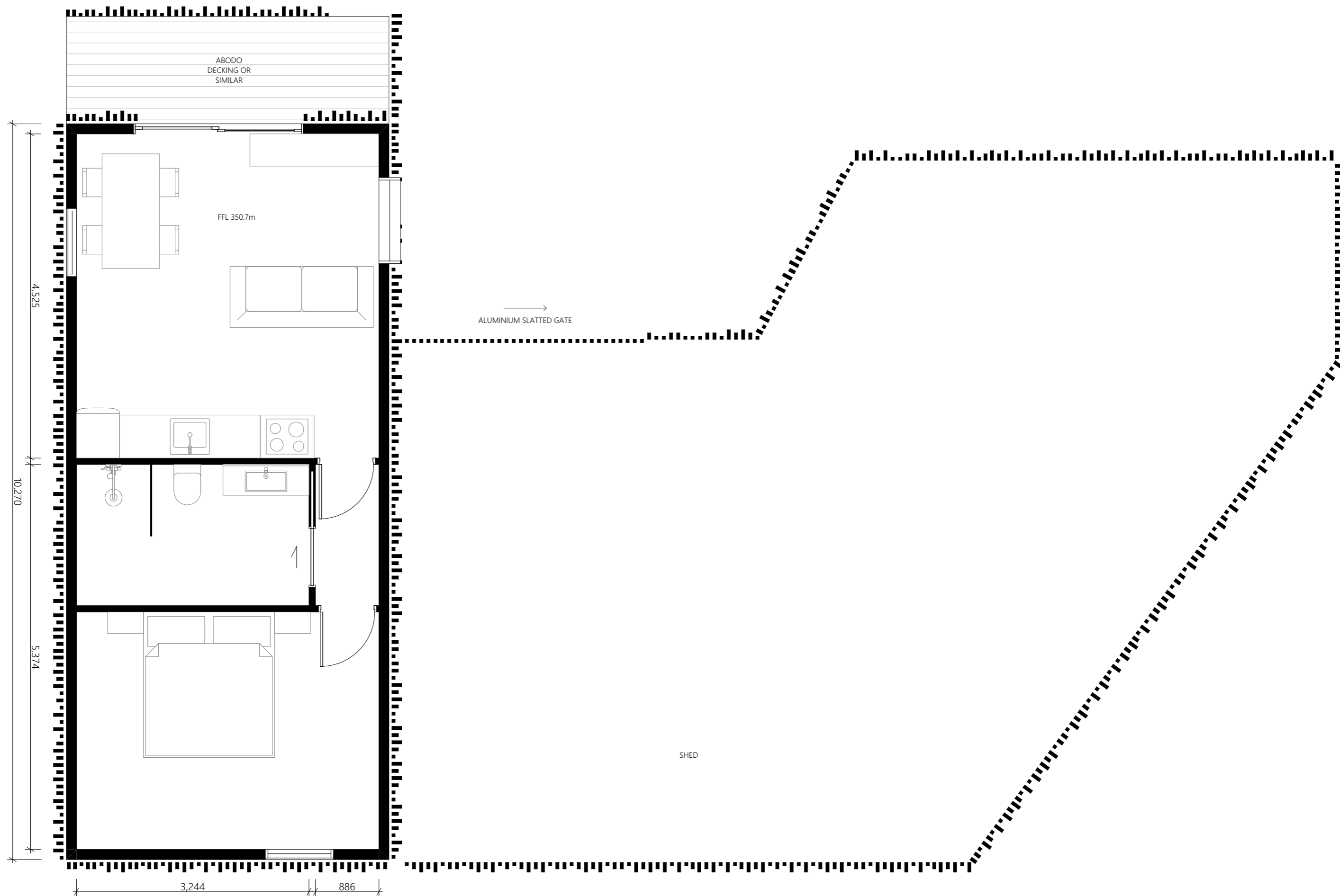
Scale 1:75

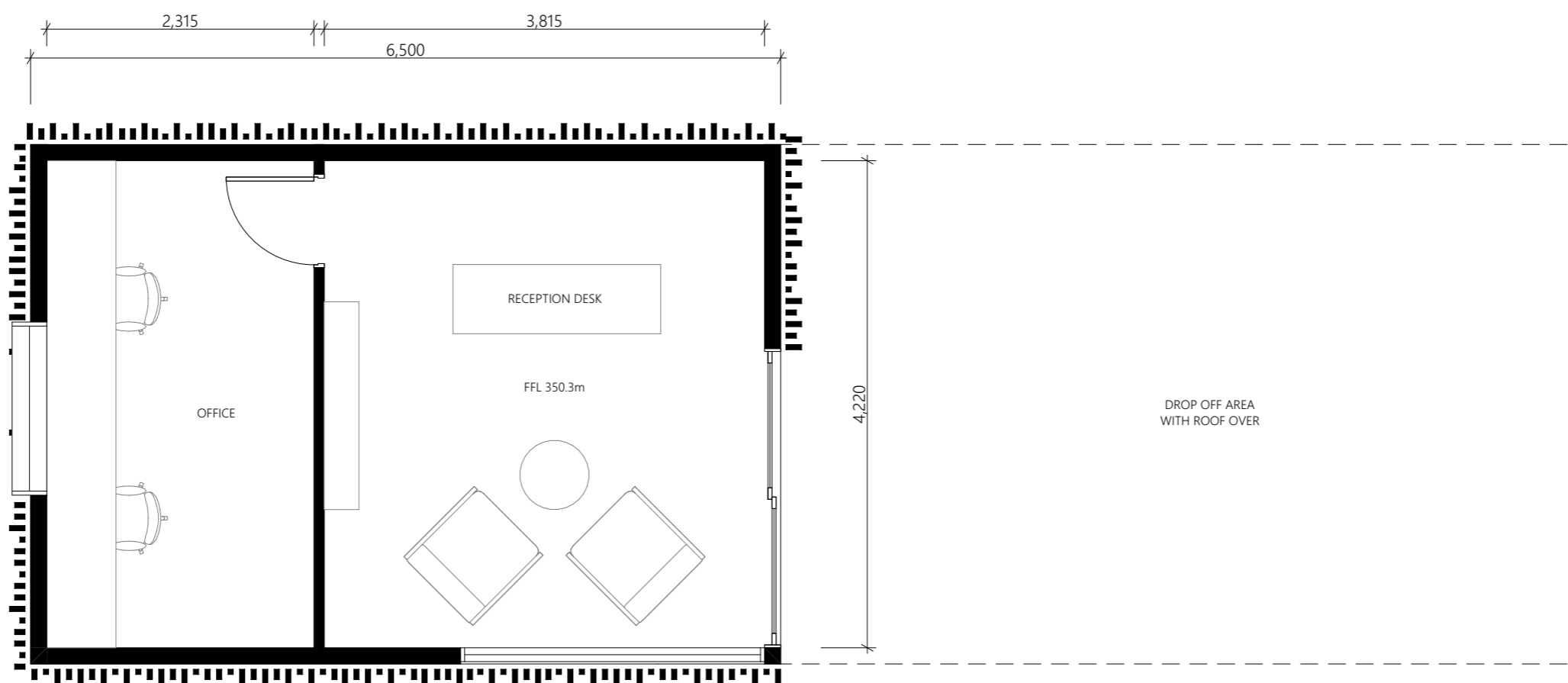


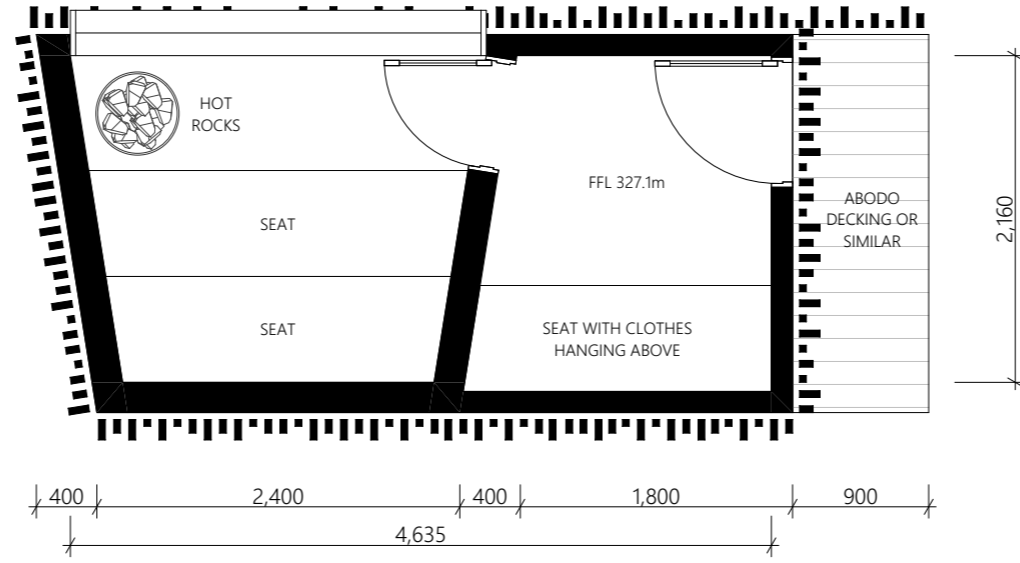


# Manager's Residence Floor Plan

Scale 1:50









Cladding: rough-sawn timber over plywood, with random spacing and depth  
Resene Nero exterior wood stain or similar. LRV <30%



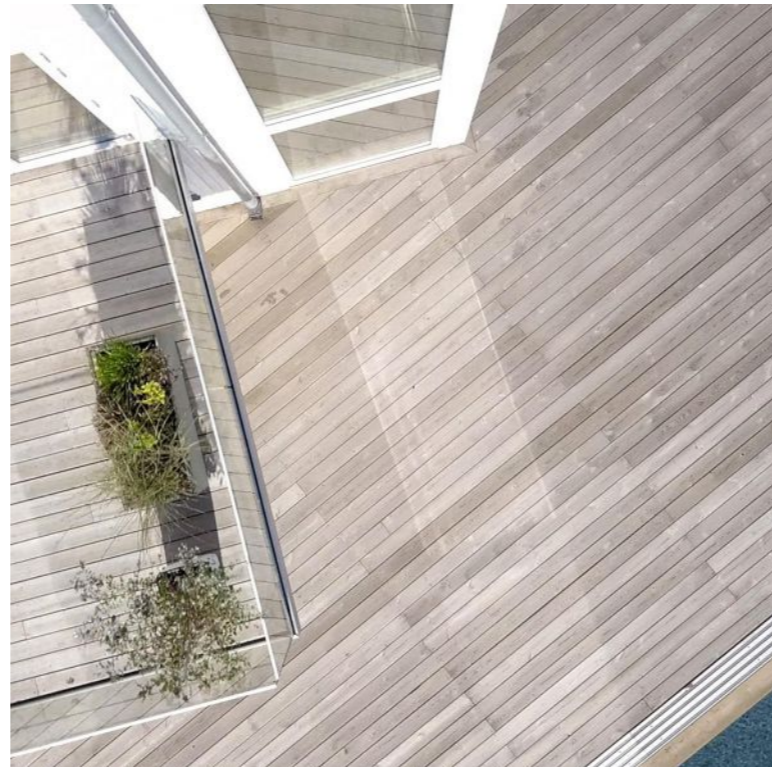
Cladding: rough-sawn timber extends above green roof edge, to provide a soft edge  
All flashings, fascia and barge boards to be matt and have an LRV of <30%



Balustrades - fine black steel work, matt



Tanking walls: Precast concrete, or plastered walls with a mid-tone grey concrete finish having an LRV of <30%



Decking: Abodo decking with SIOO:X wood coating or similar.  
Note, all deck edges to be black.



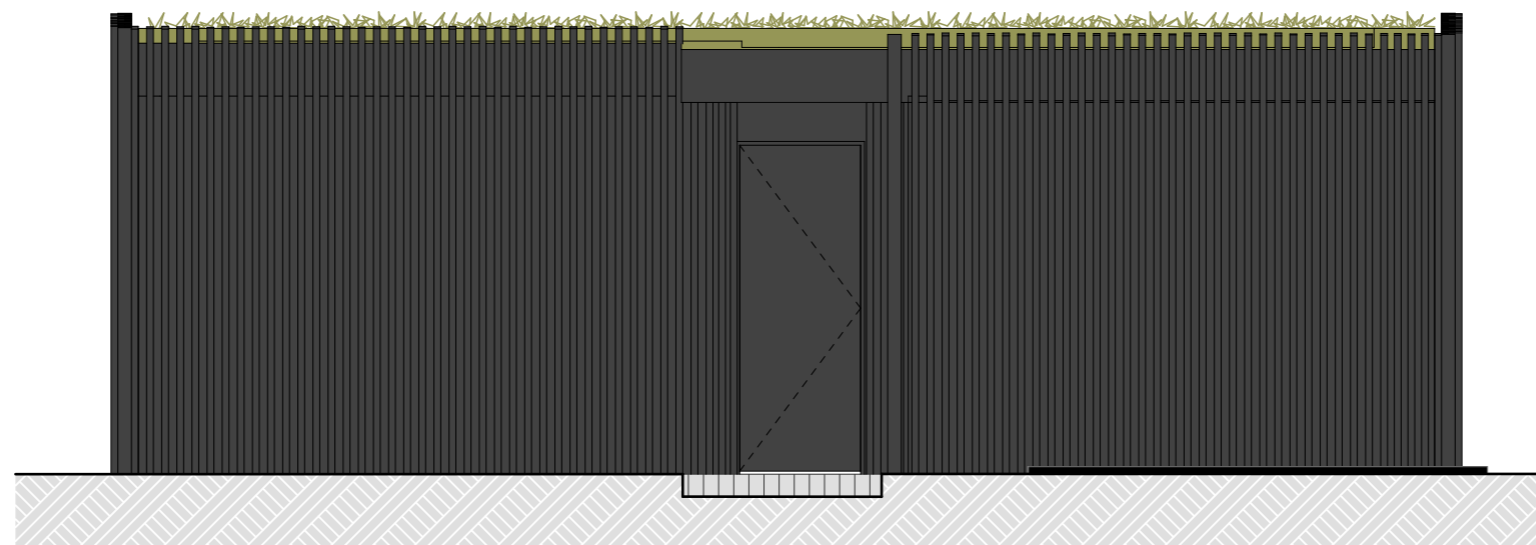
Joinery: All external joinery frames to be black with <30% LRV  
All glazing will be "OptiPlus" or a similar low reflectance glass





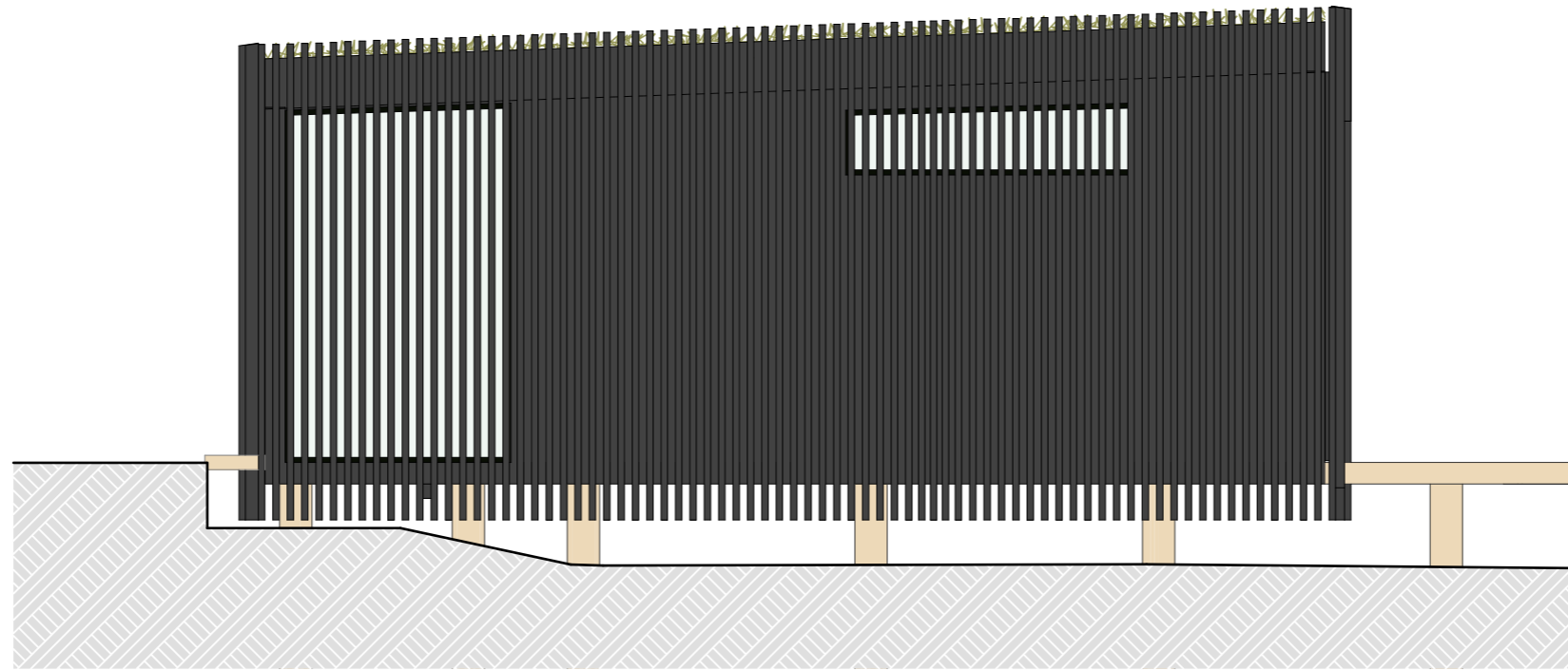
## West elevation

Scale 1:50



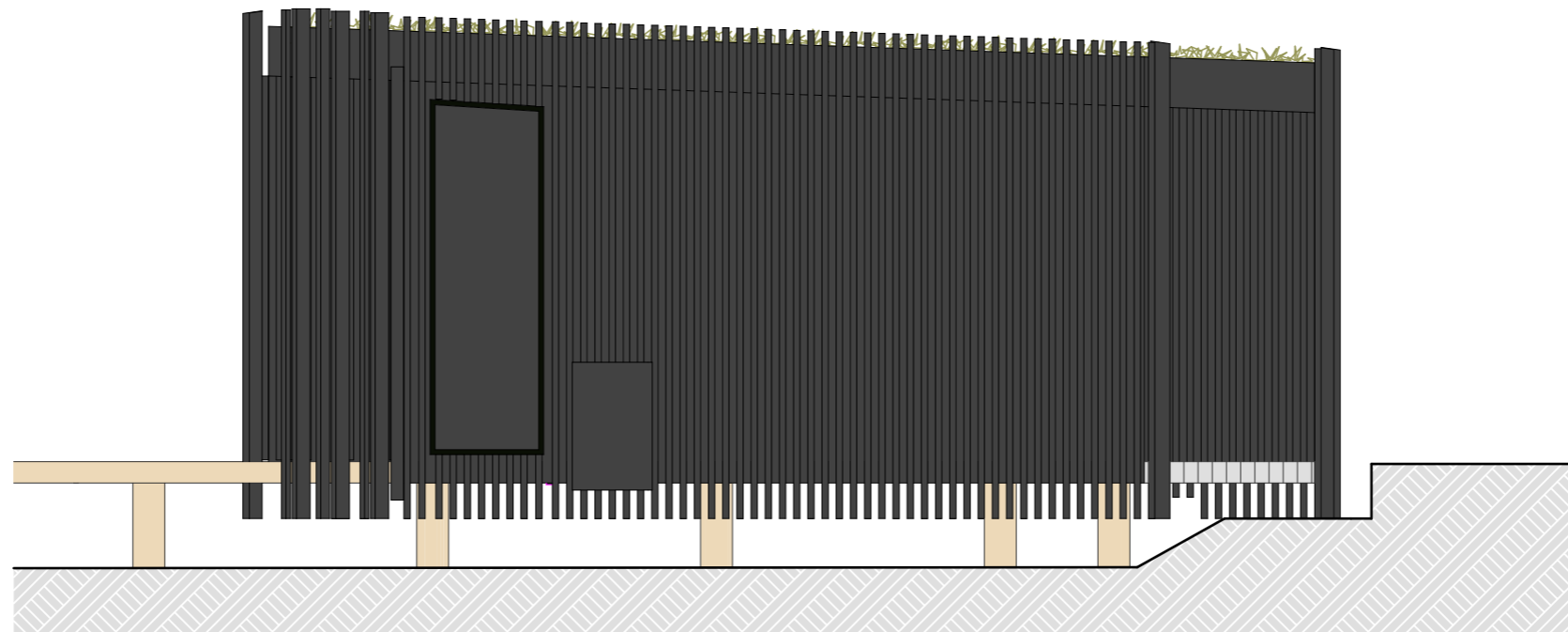
## East elevation

Scale 1:50



### North elevation

Scale 1:50



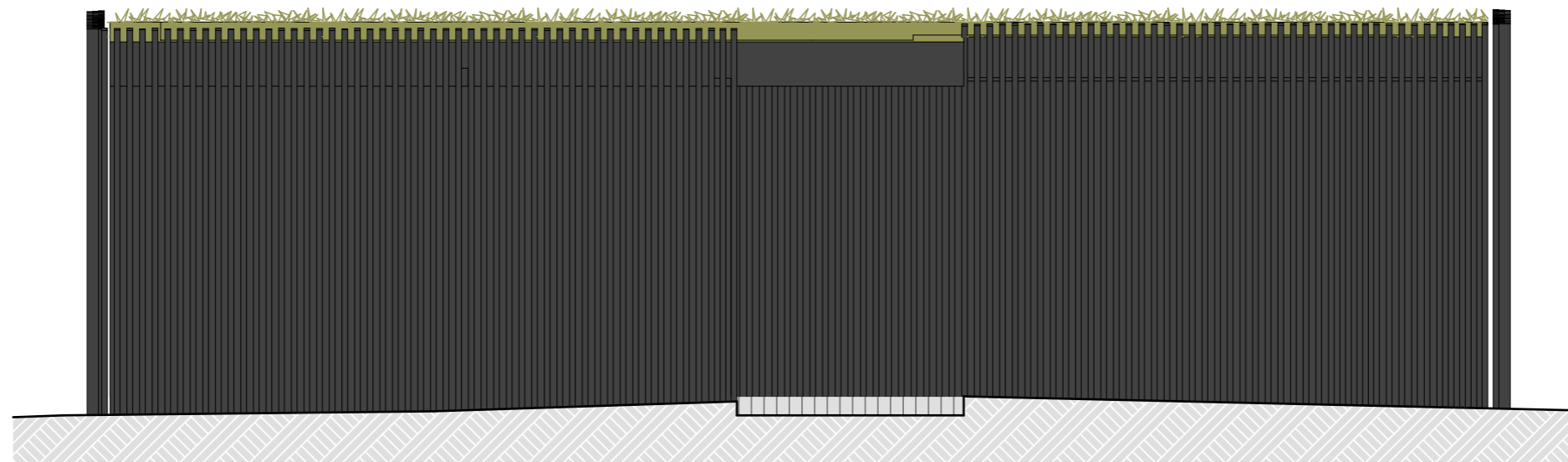
### South elevation

Scale 1:50



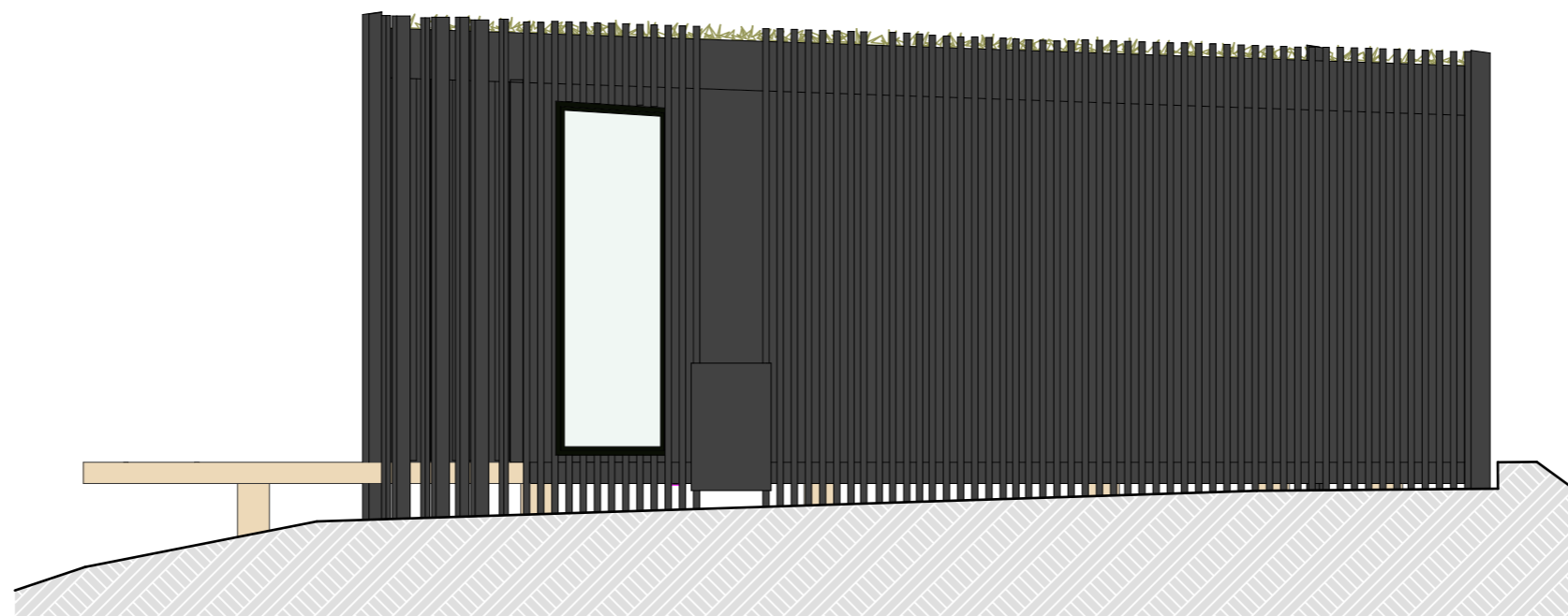
## West elevation

Scale 1:50



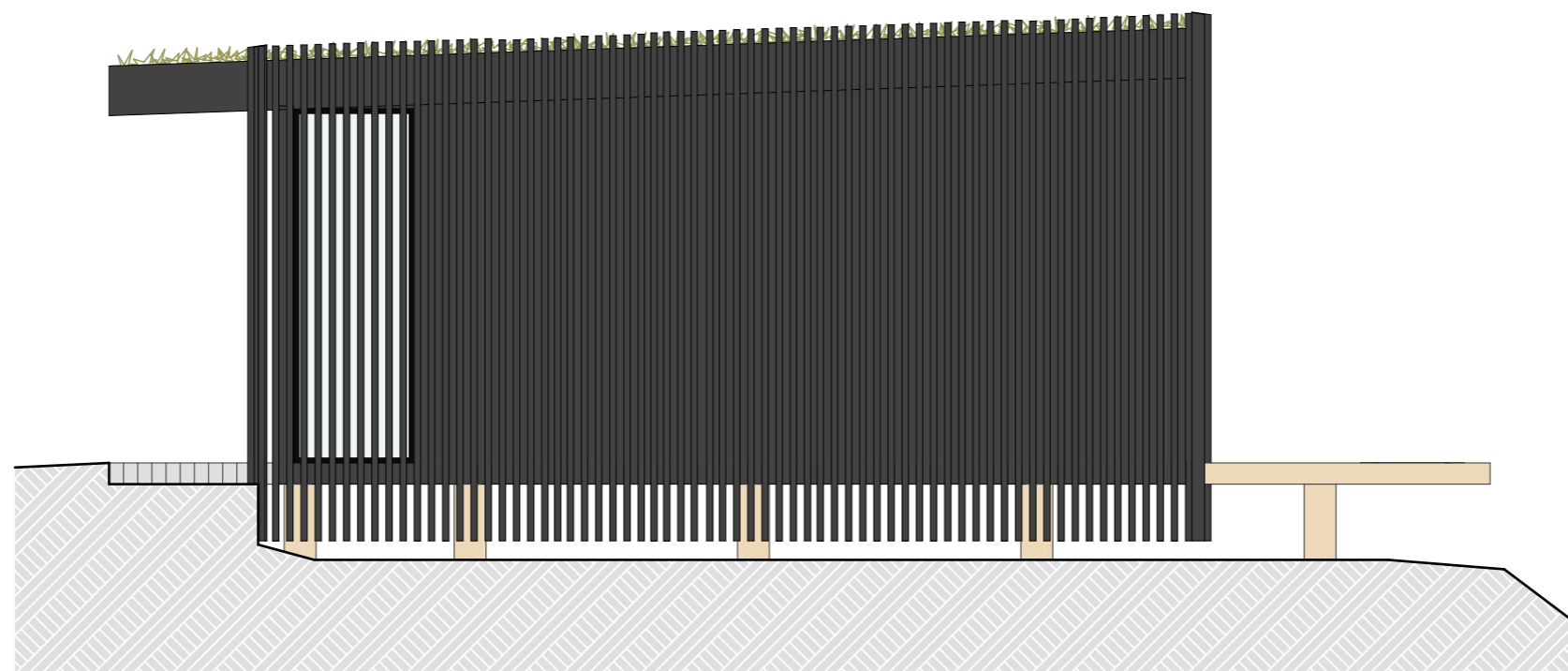
## East elevation

Scale 1:50



### South elevation

Scale 1:50

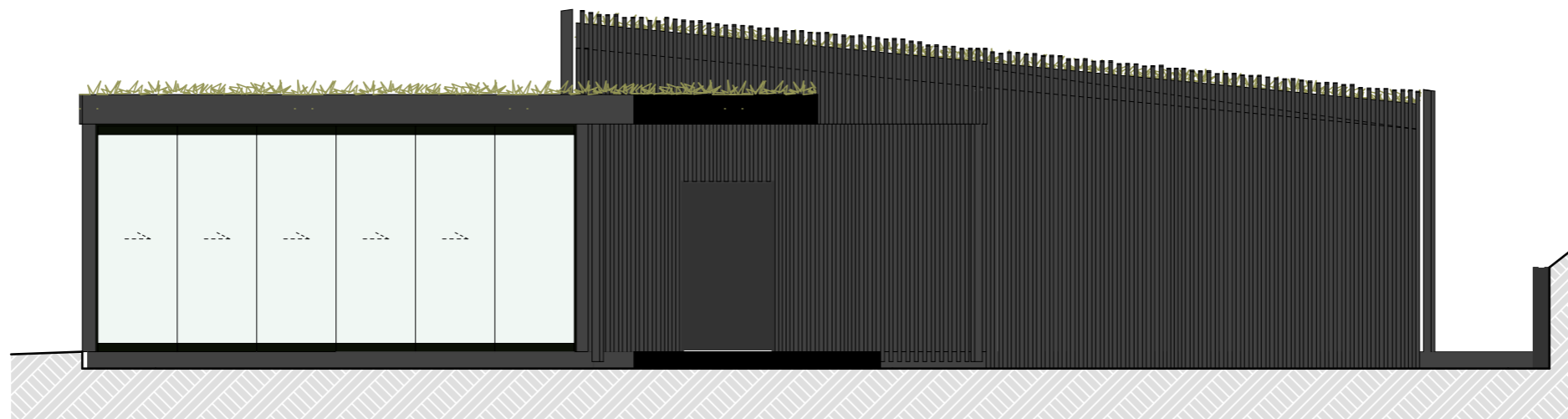


### North elevation

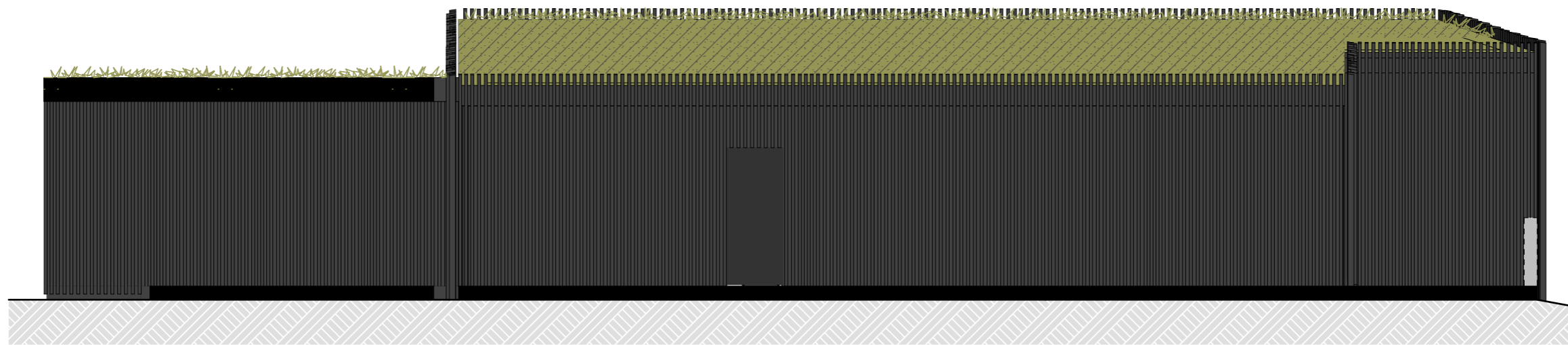
Scale 1:50



**West elevation**  
 Scale 1:75



**South elevation**  
 Scale 1:75



**East elevation**

Scale 1:75



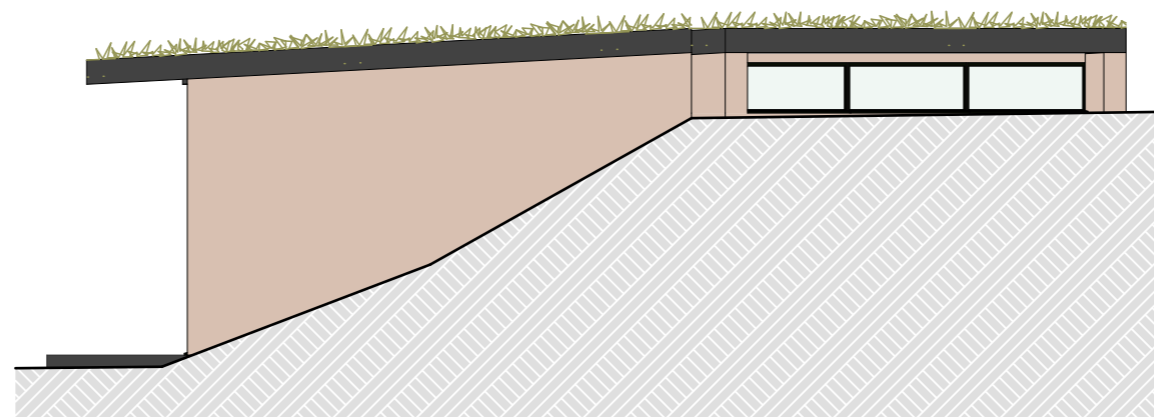
**North elevation**

Scale 1:75



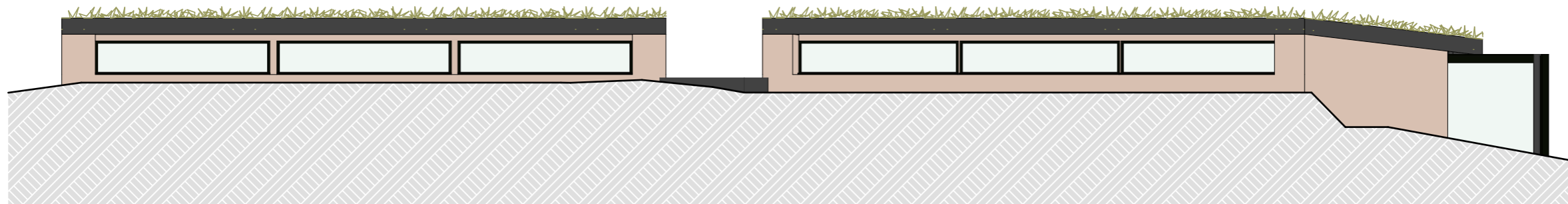
## West elevation

Scale 1:75



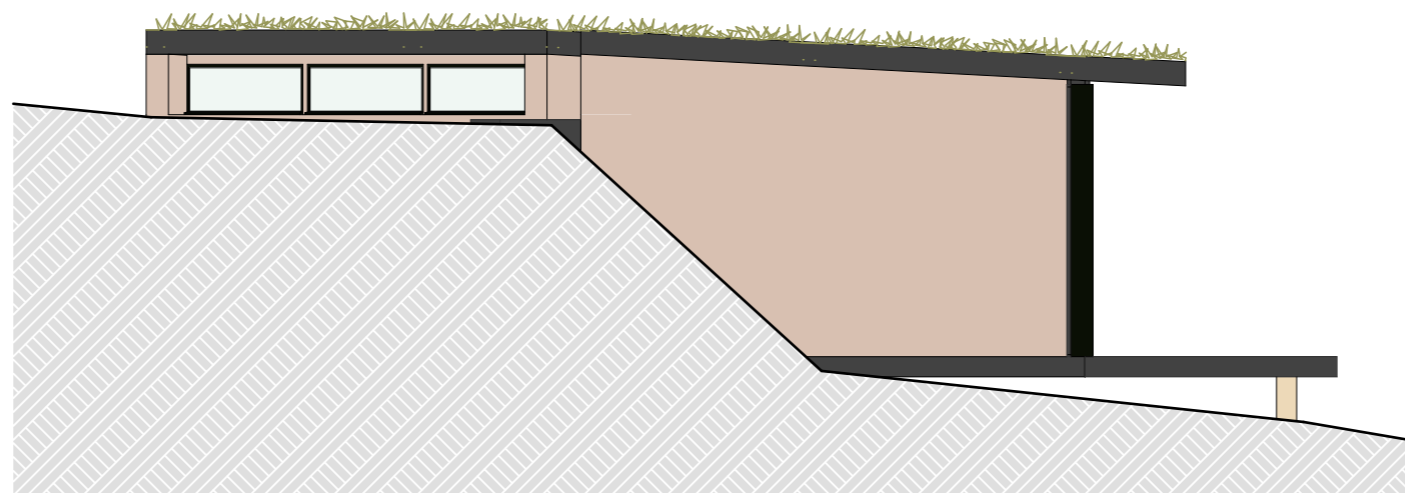
## South elevation

Scale 1:75



## East elevation

Scale 1:75



## North elevation

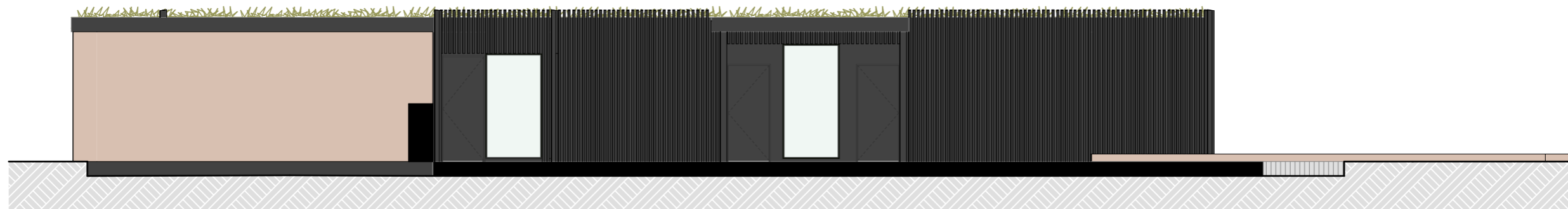
Scale 1:75





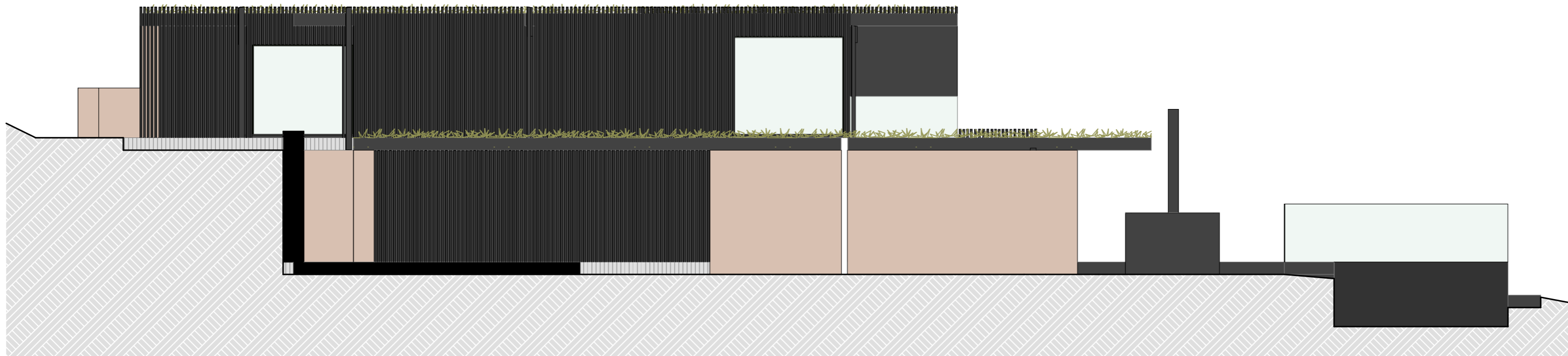
## West elevation

Scale 1:100



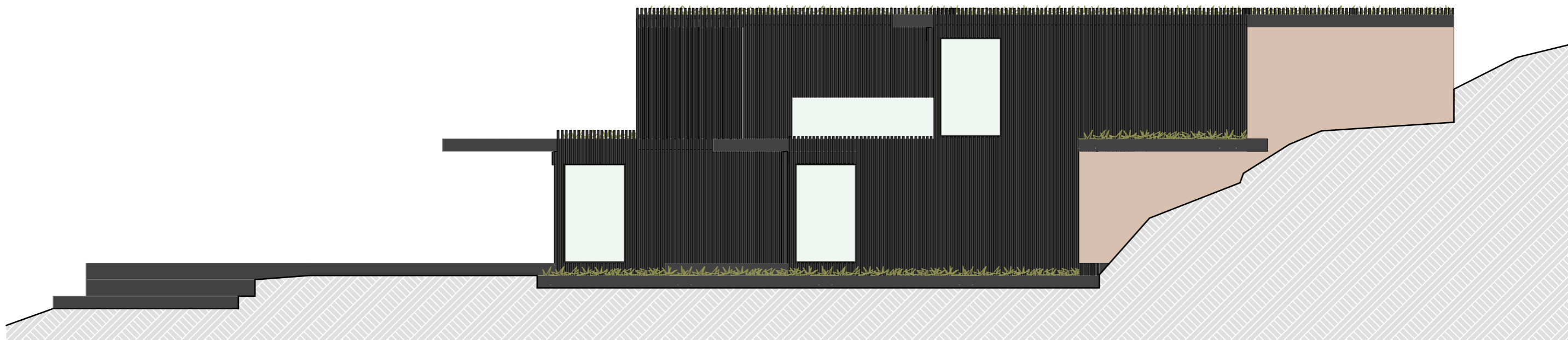
## East elevation

Scale 1:100



## North elevation

Scale 1:100



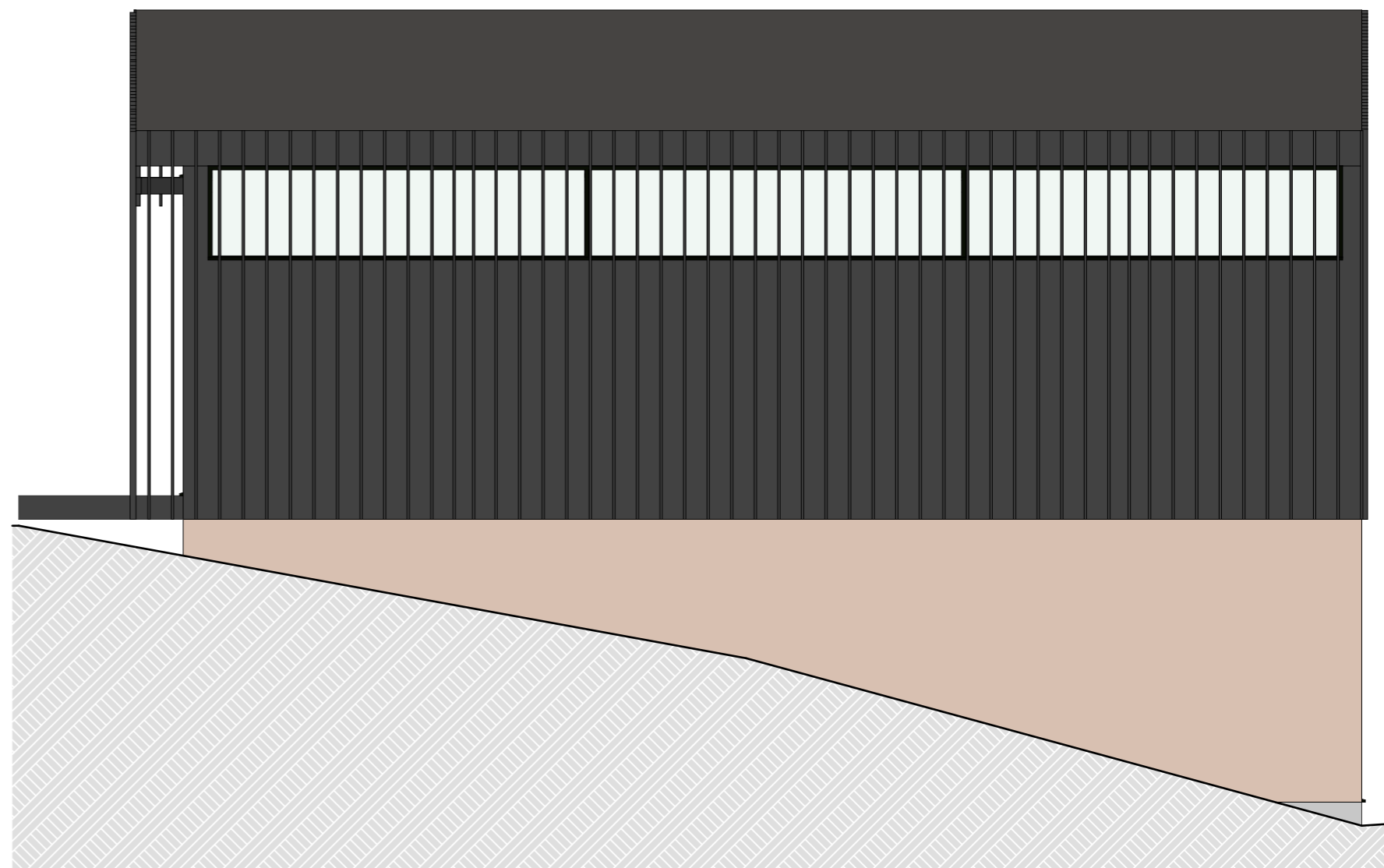
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Scale 1:100



**North elevation**

Scale 1:50



**East elevation**

Scale 1:50



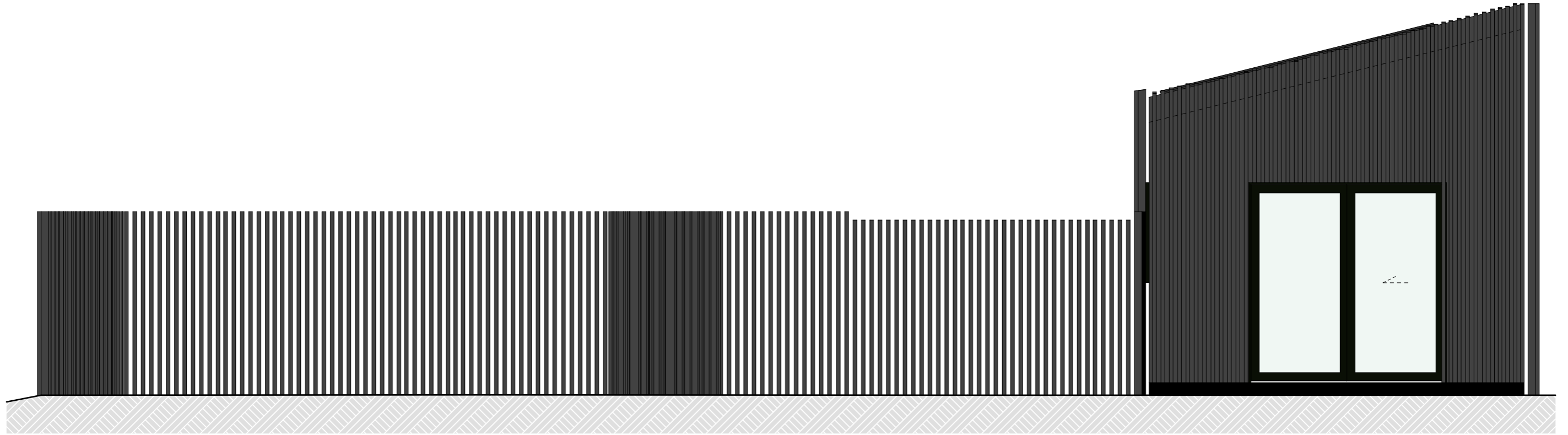
**South elevation**

Scale 1:50



**West elevation**

Scale 1:50



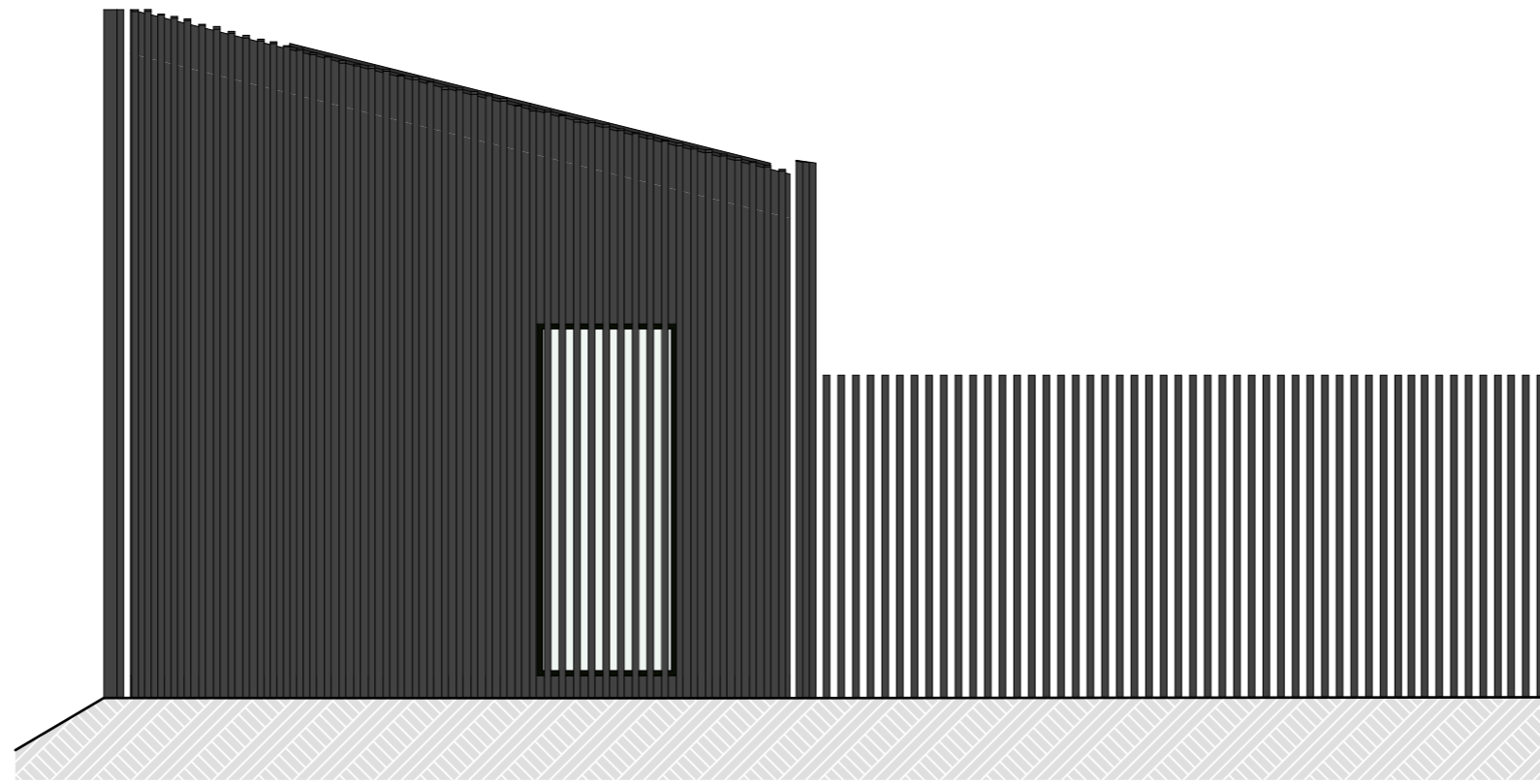
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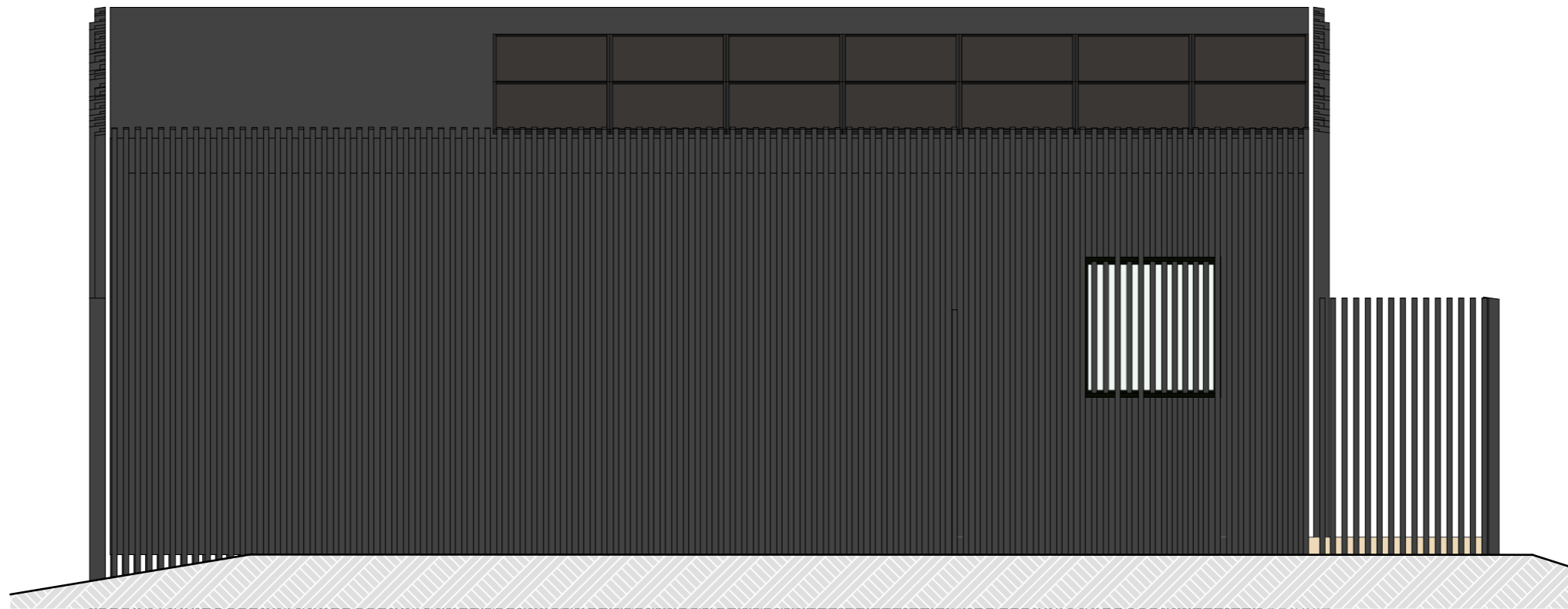
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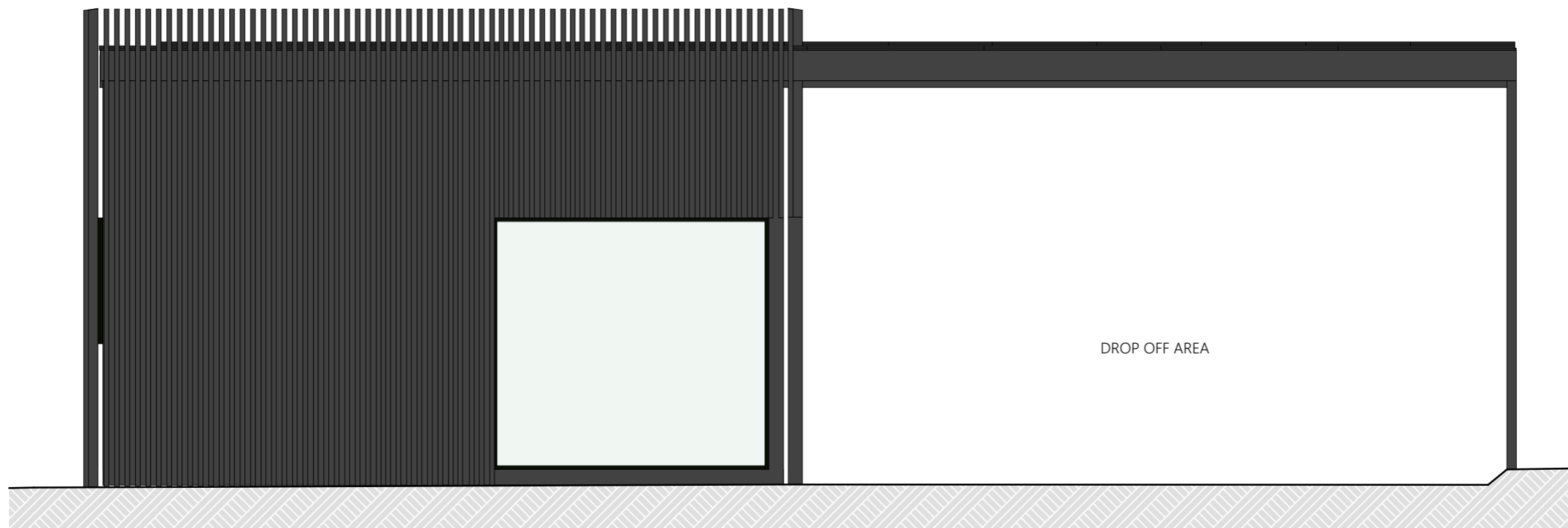
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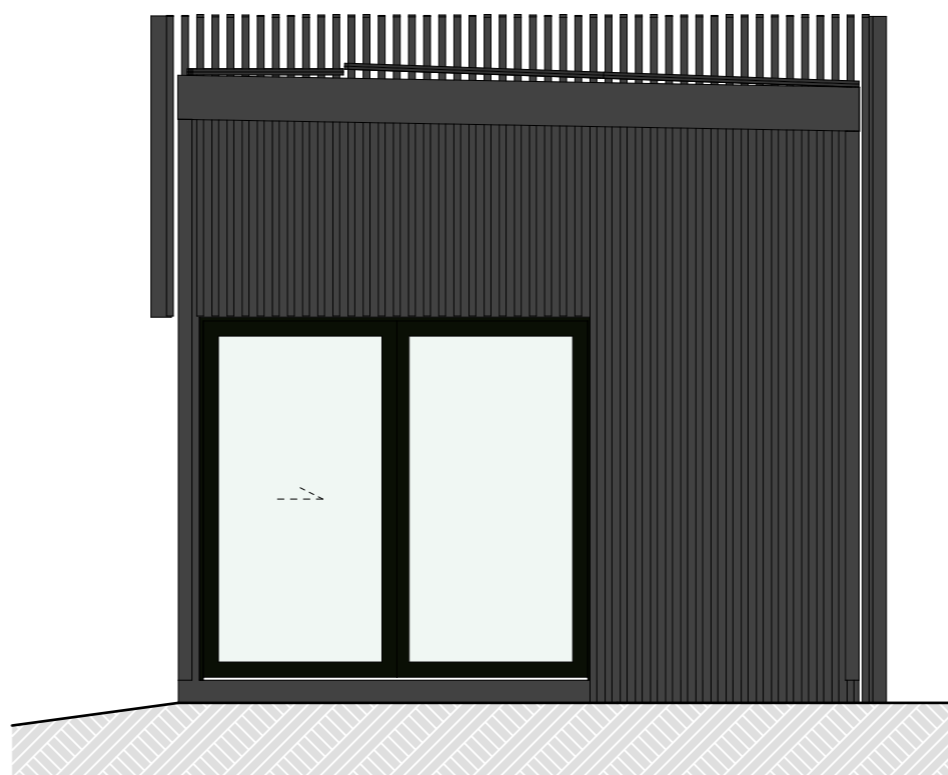
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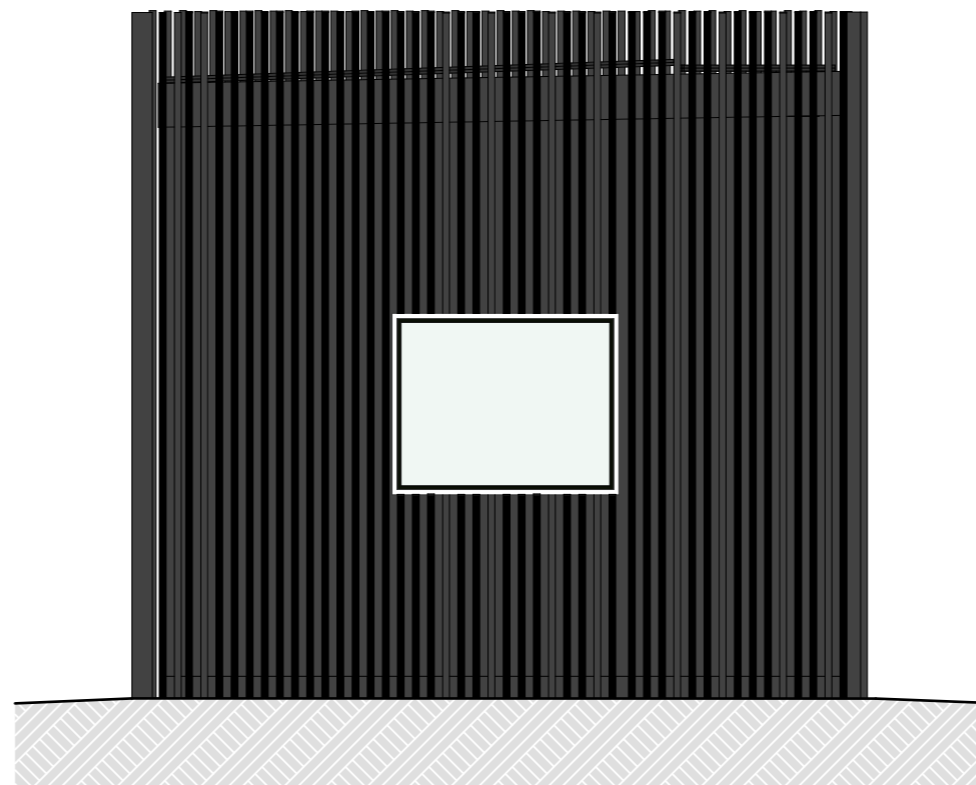
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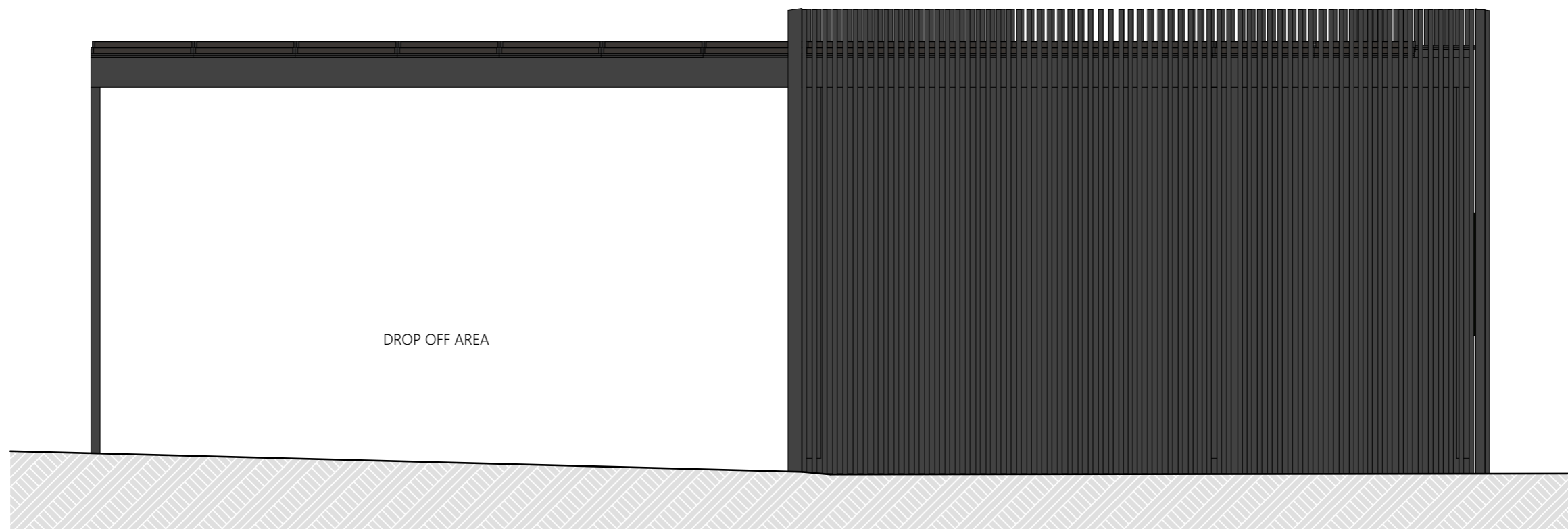
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Scale 1:50



**West elevation**

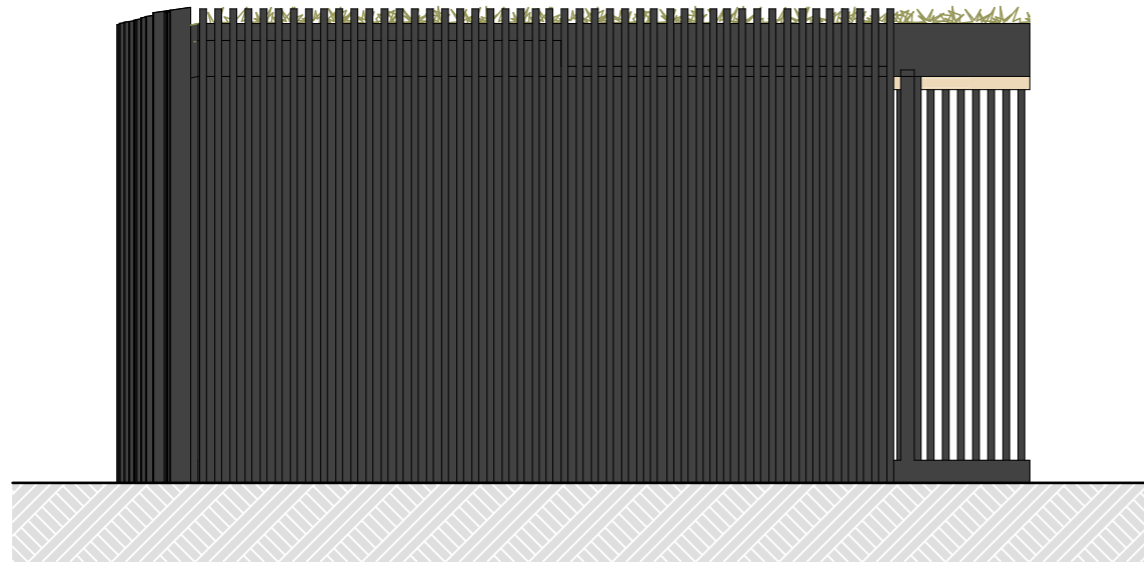
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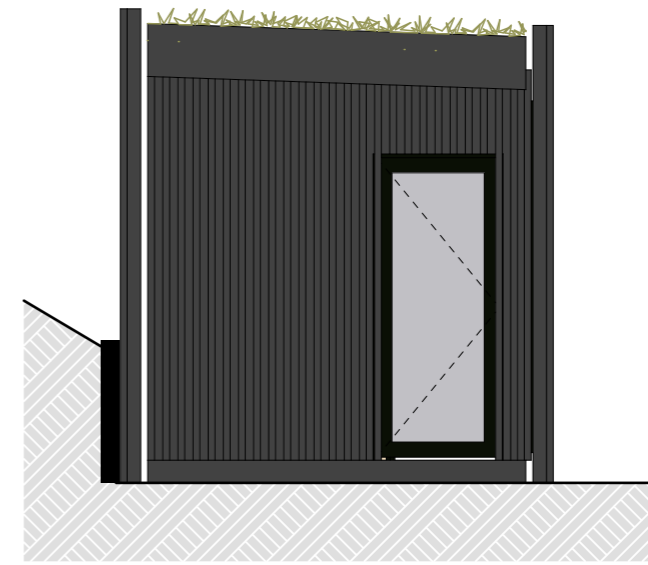
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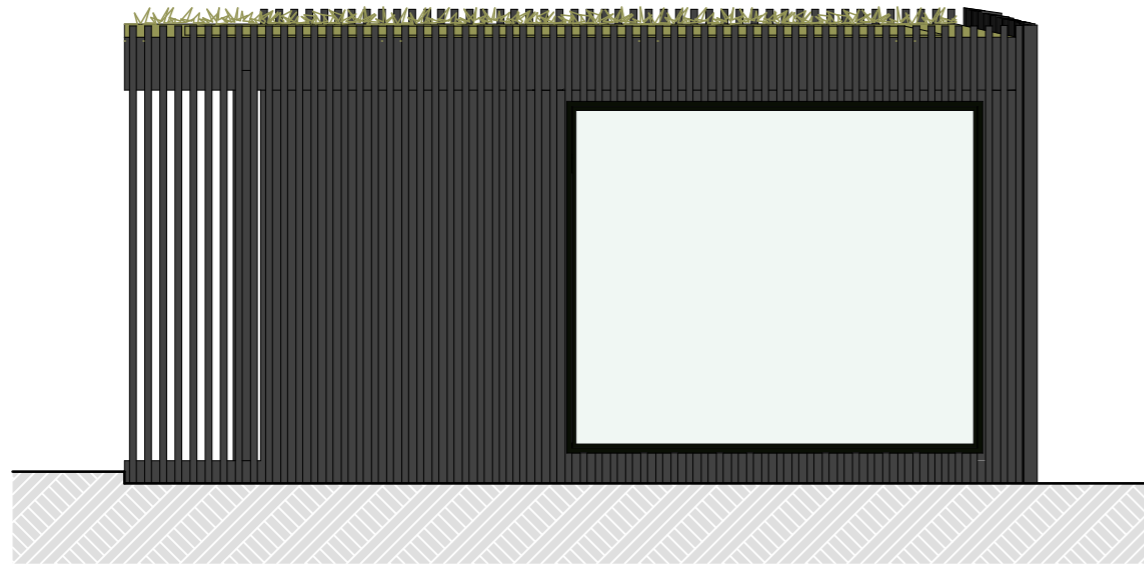
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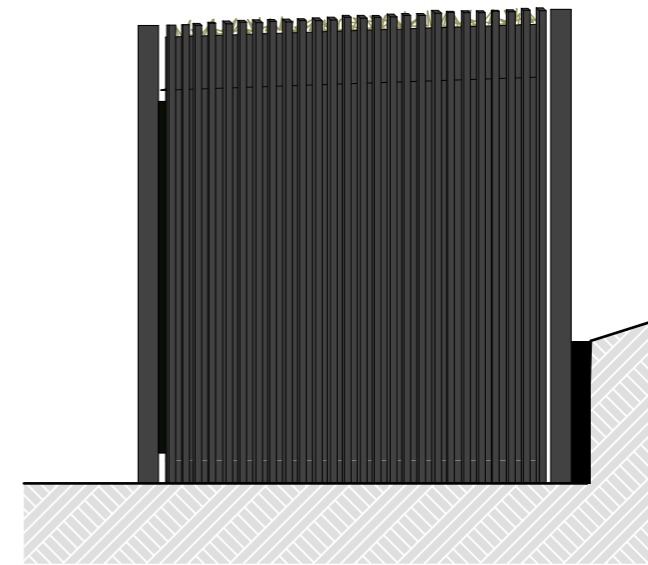
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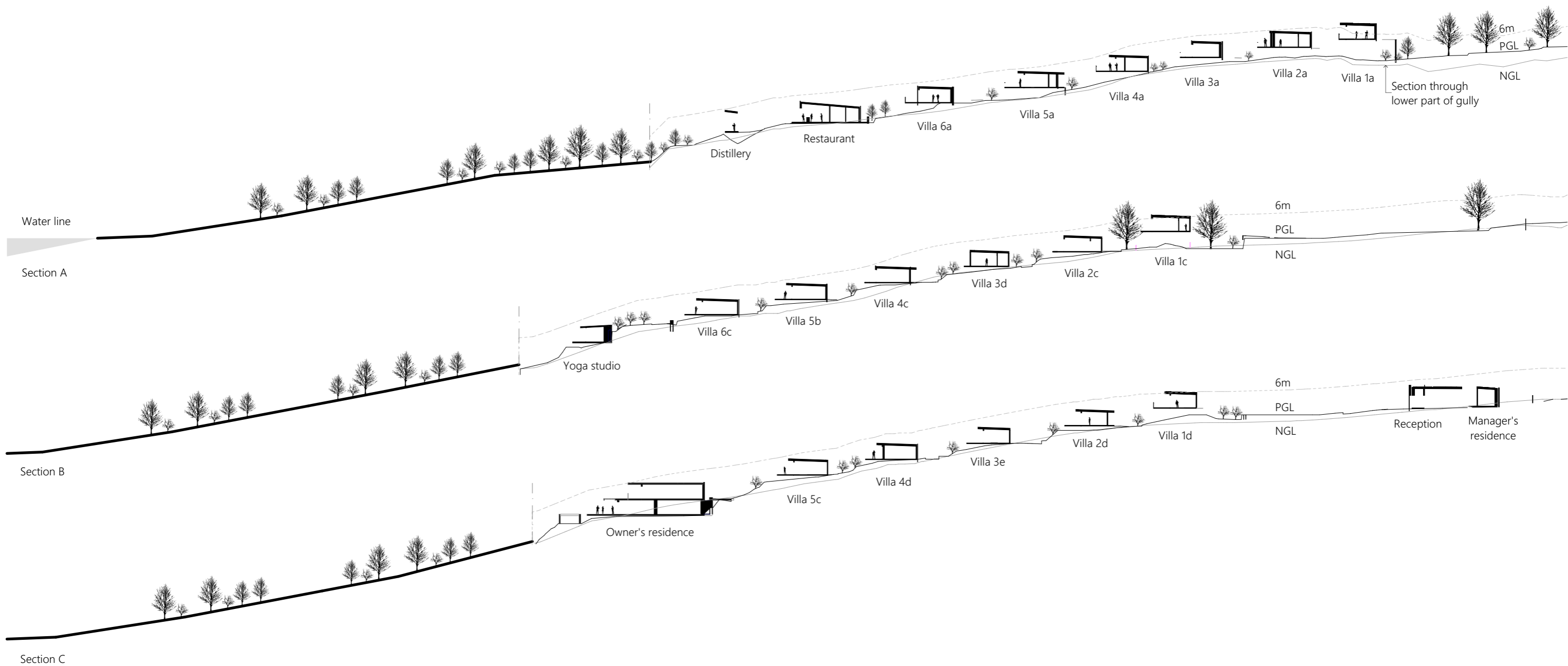
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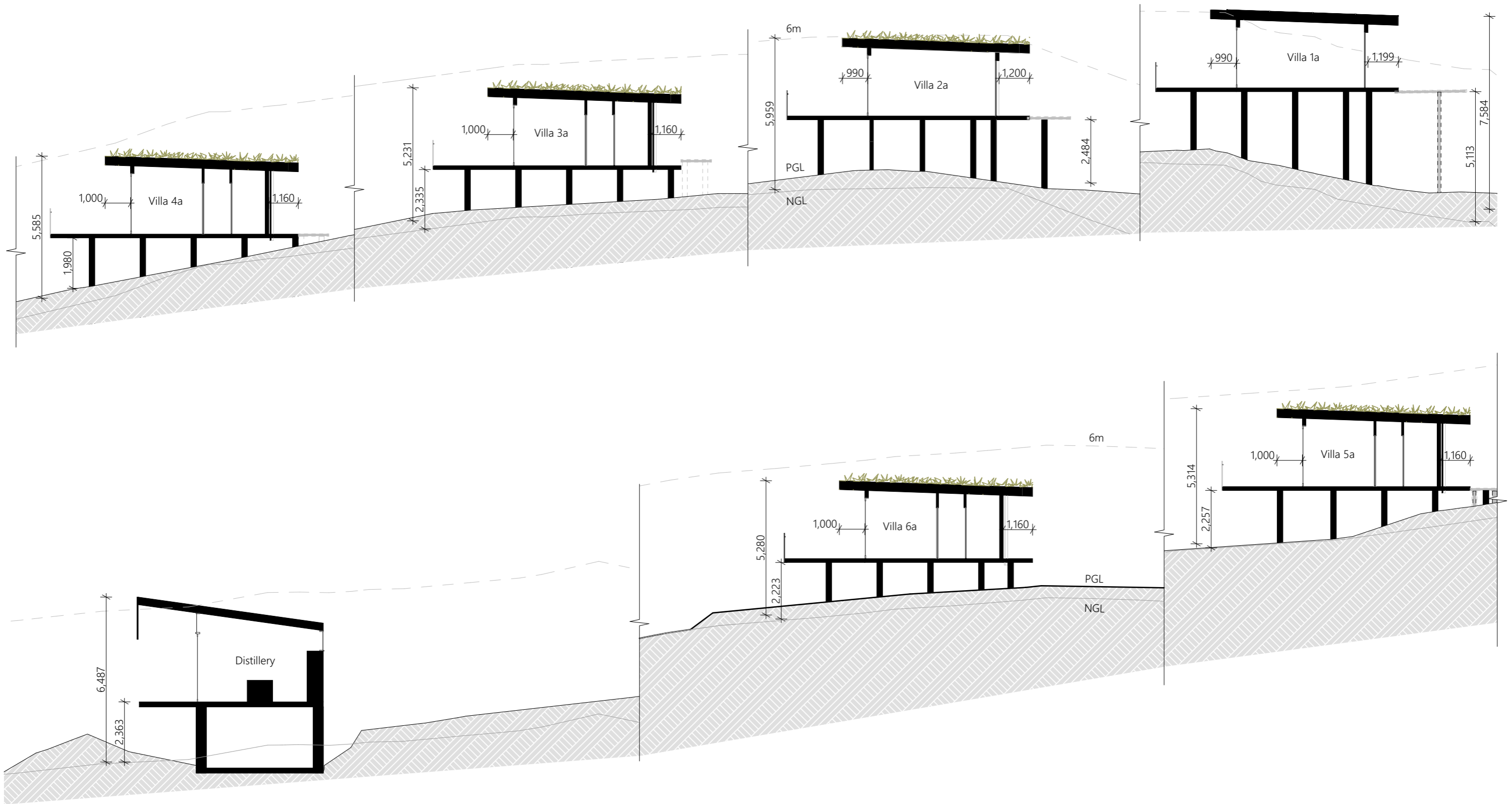
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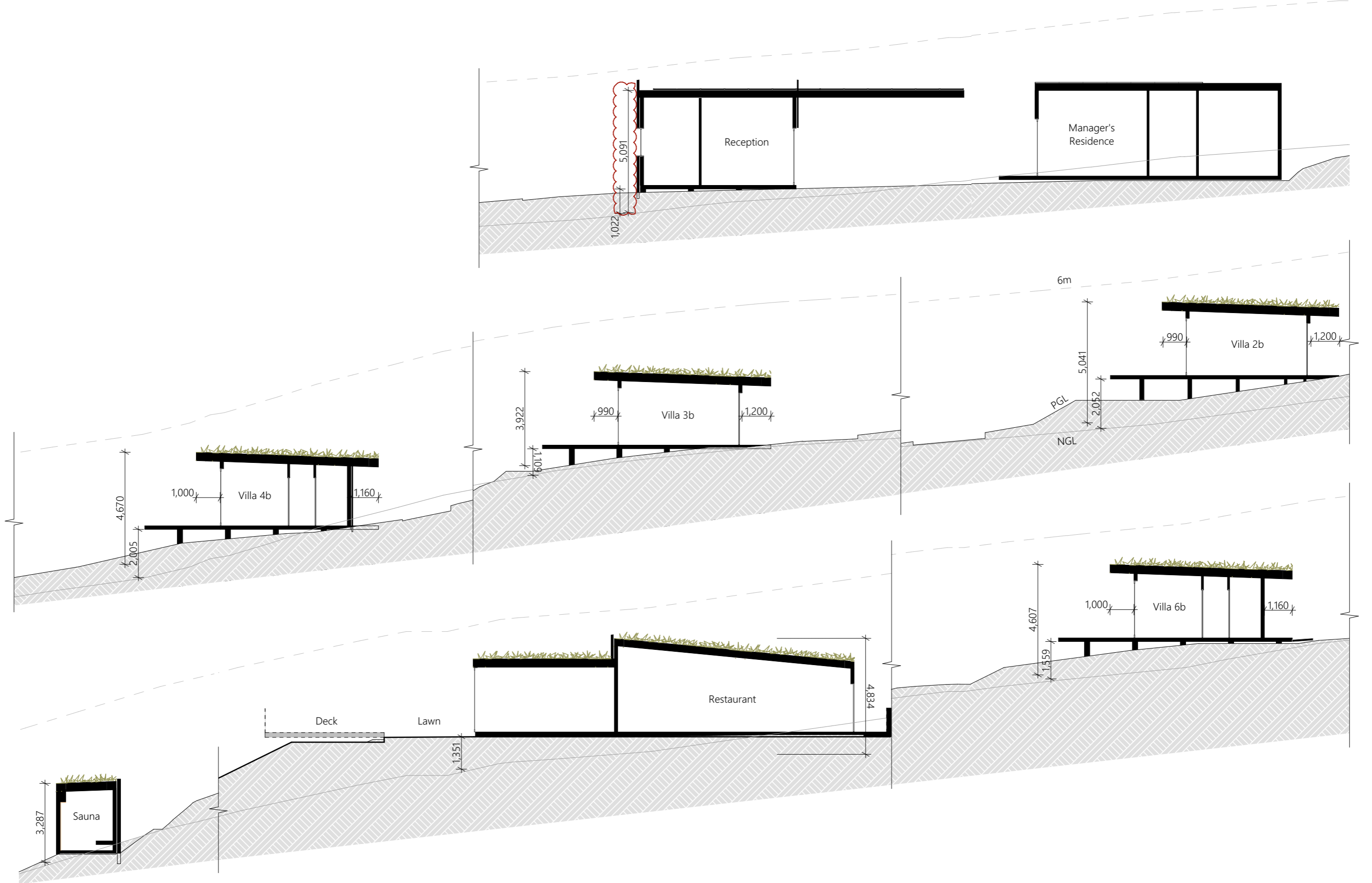


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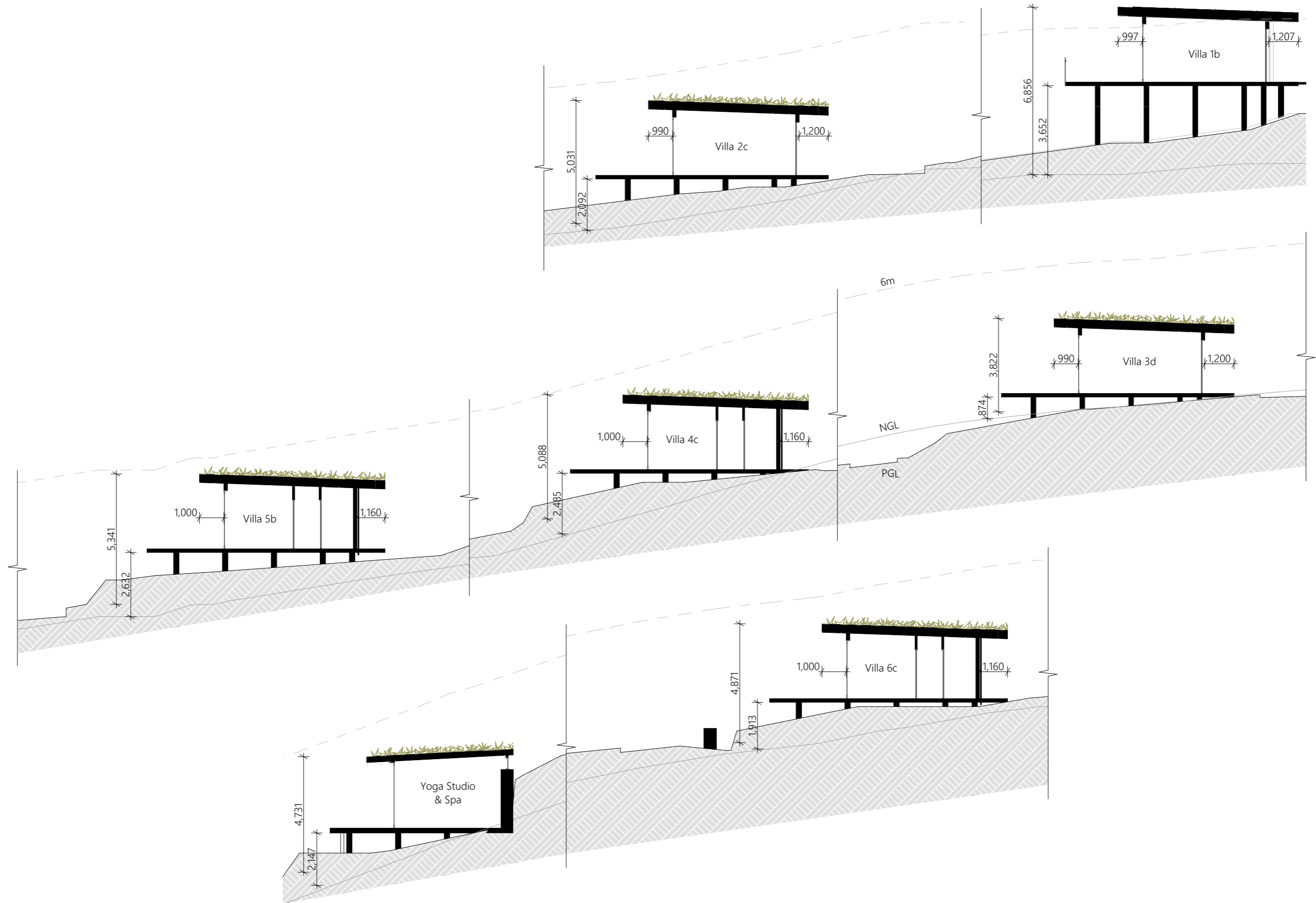


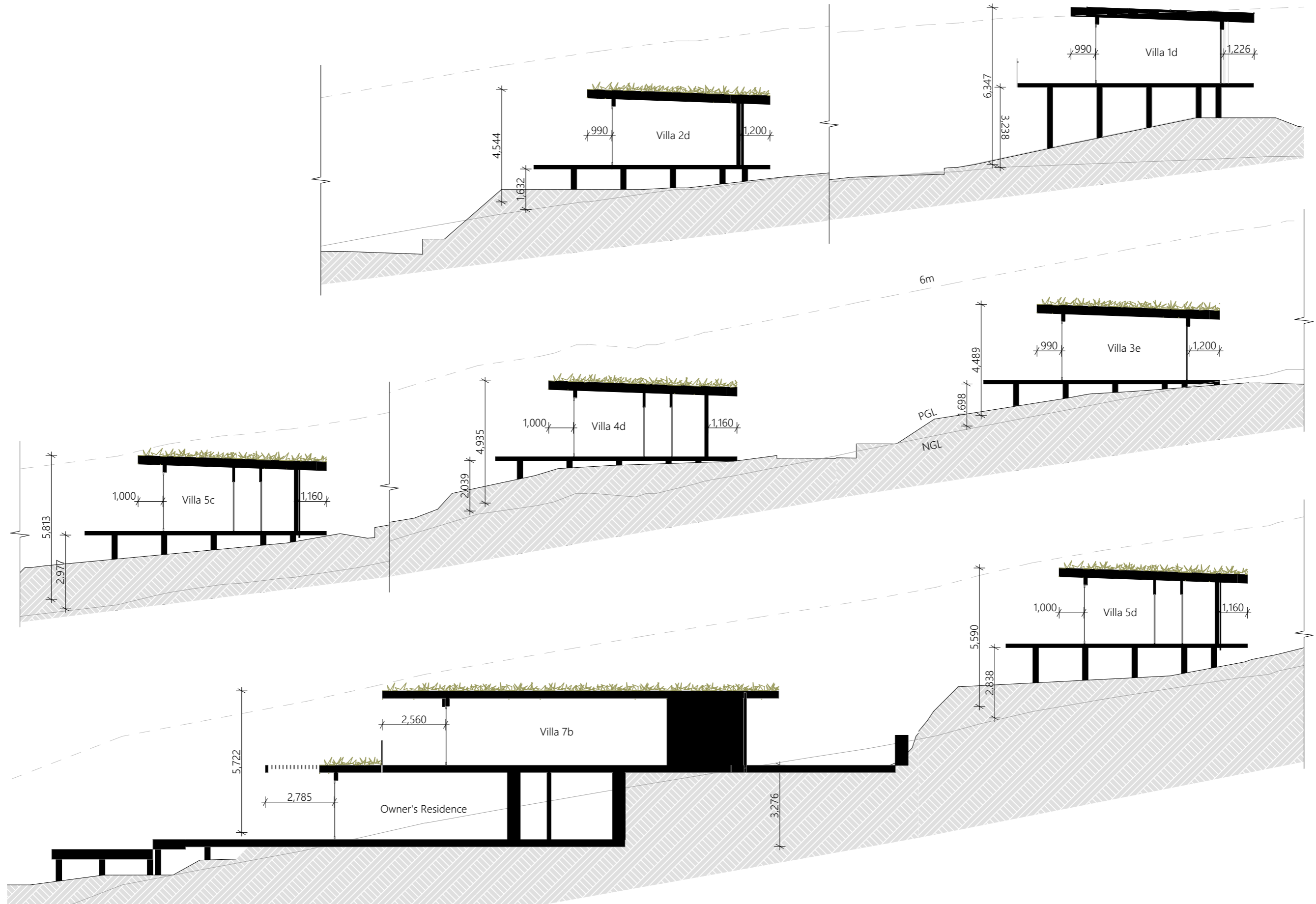




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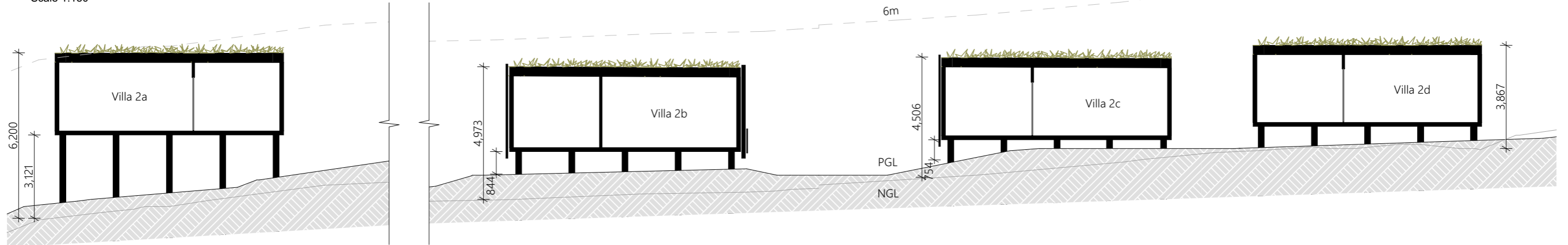






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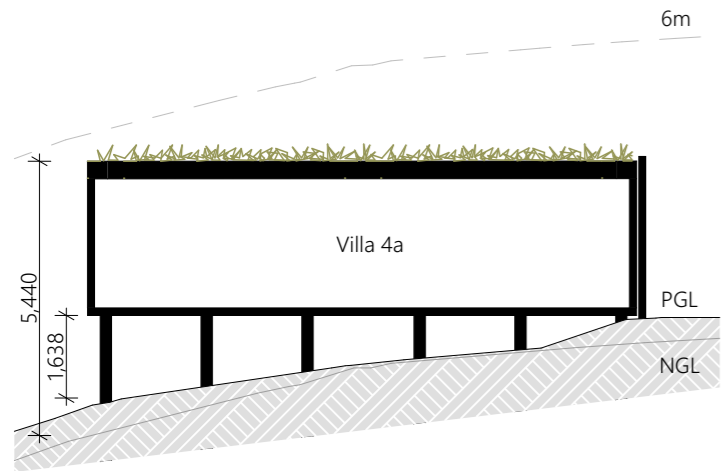
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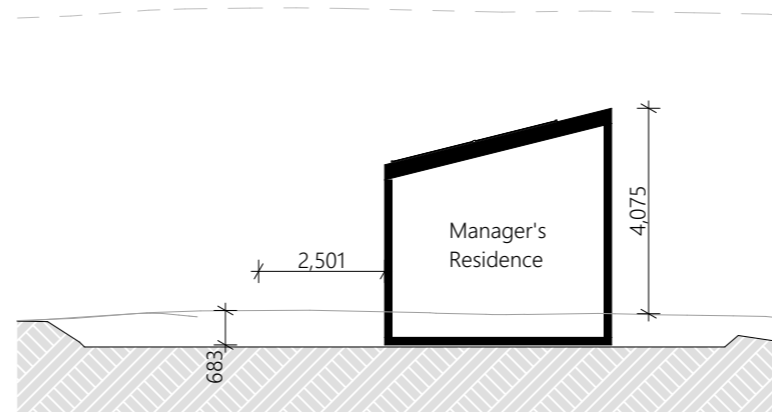
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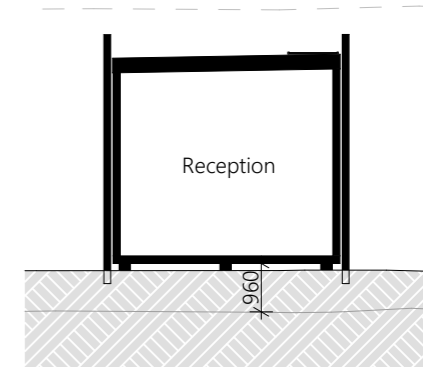
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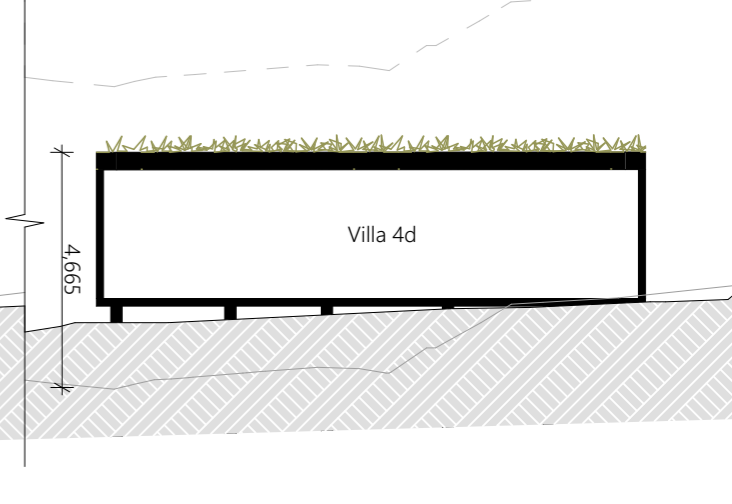
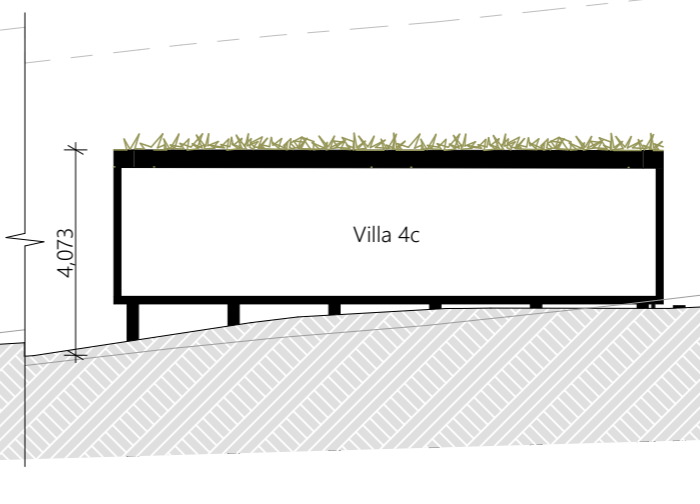
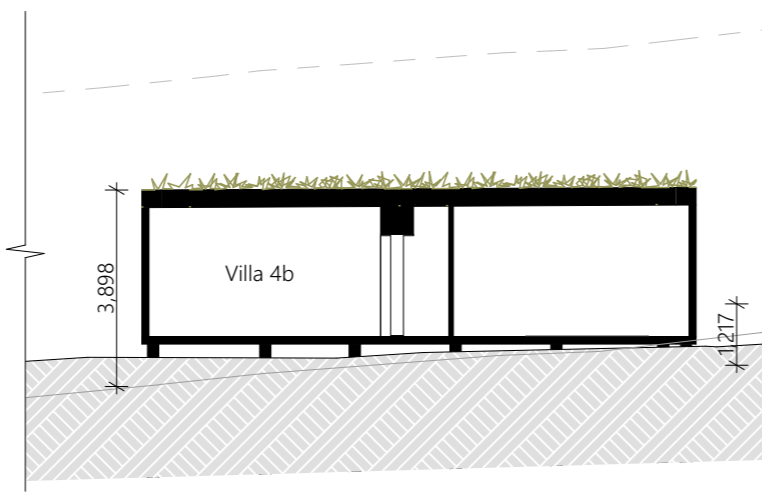
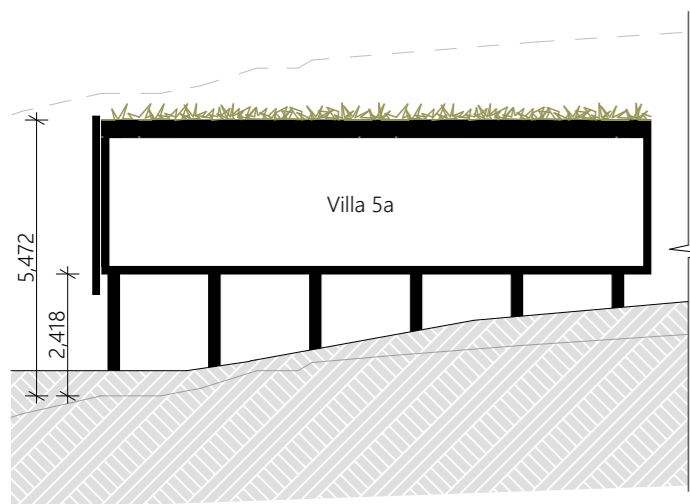
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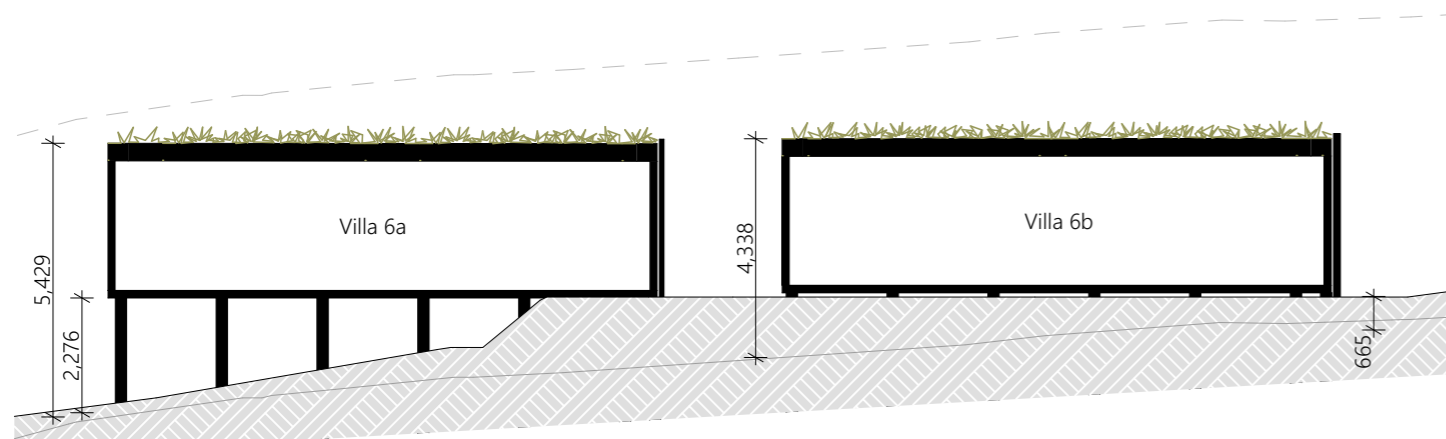
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Scale



**Section N**

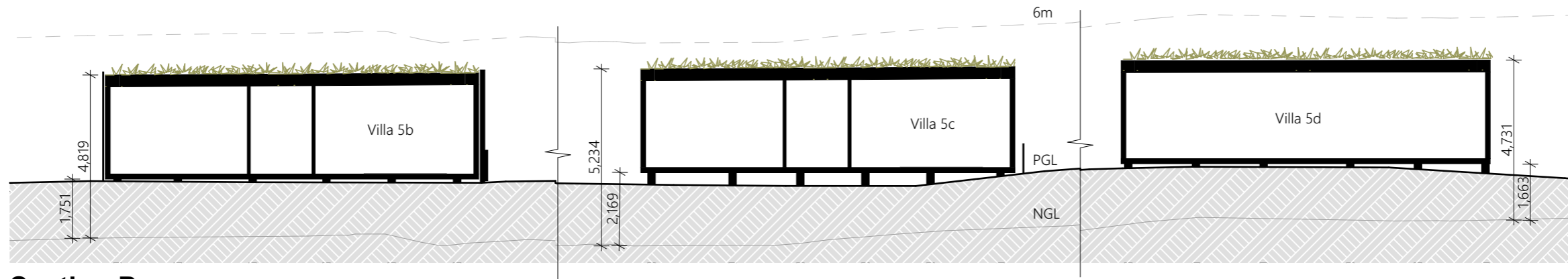
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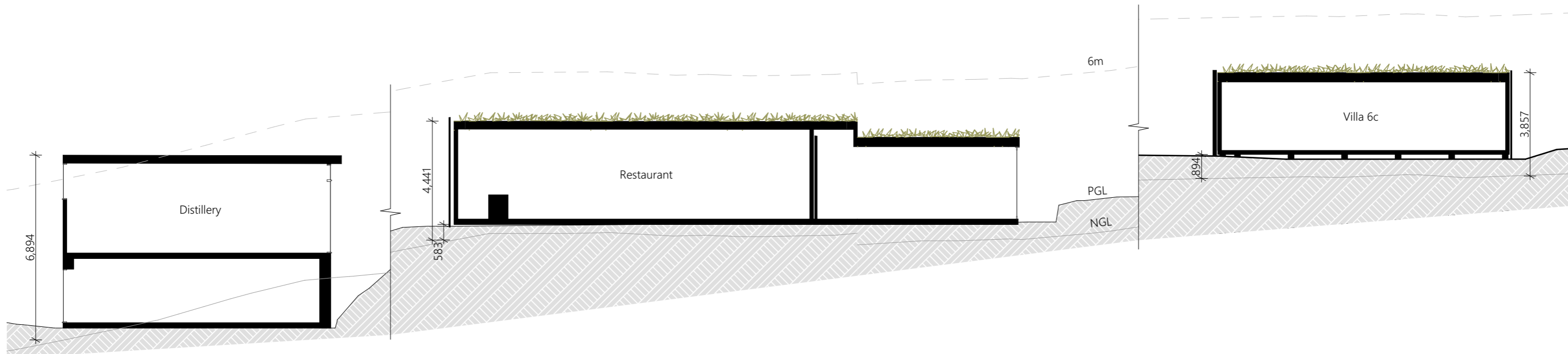
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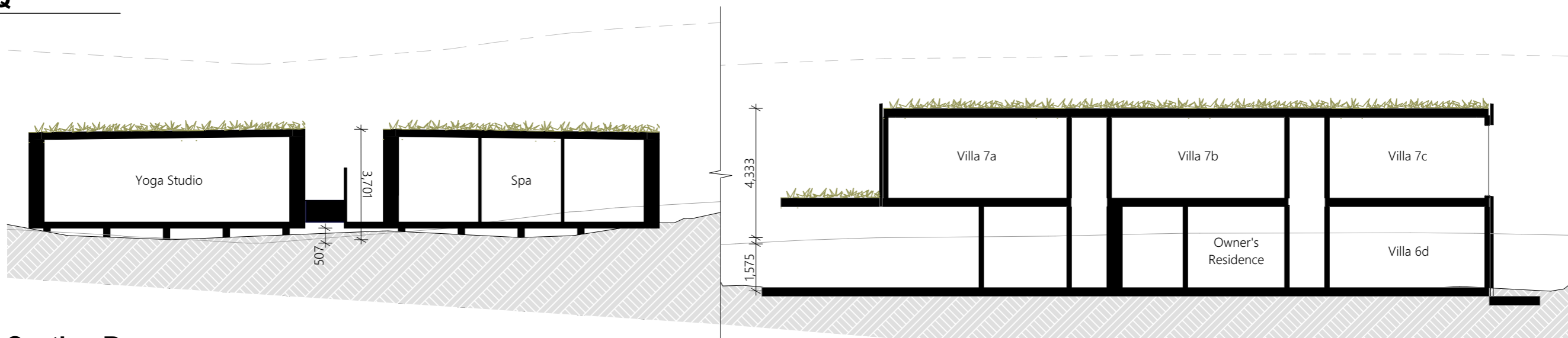
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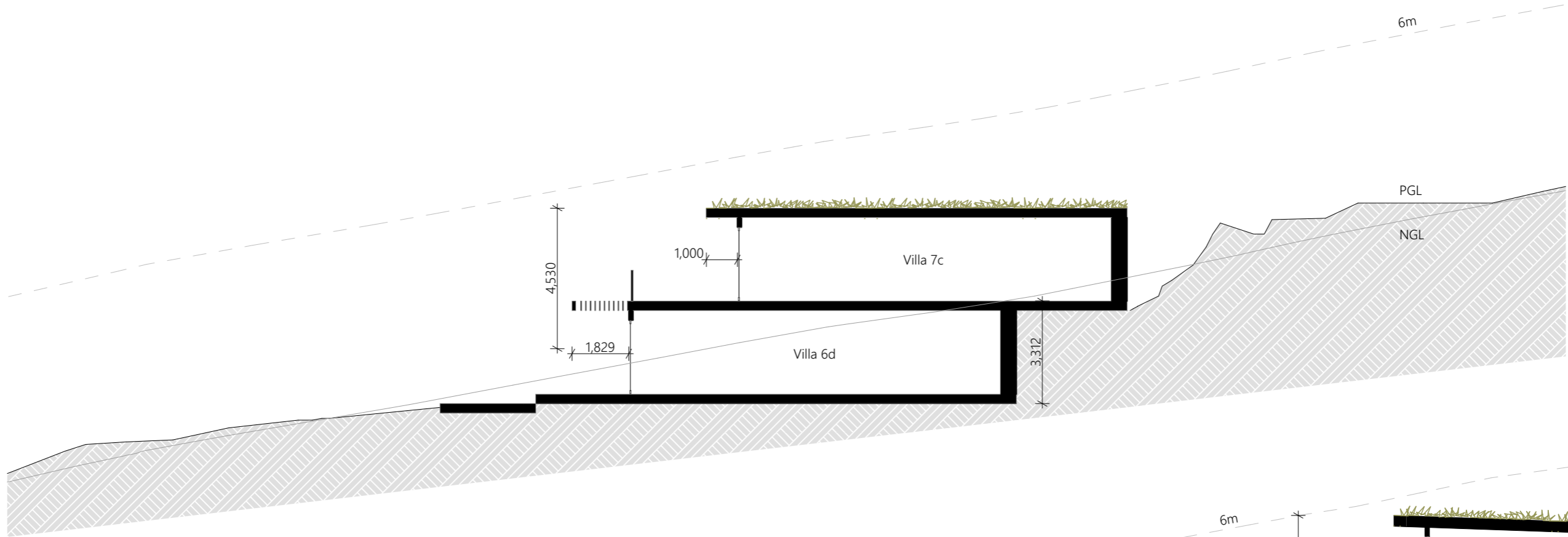
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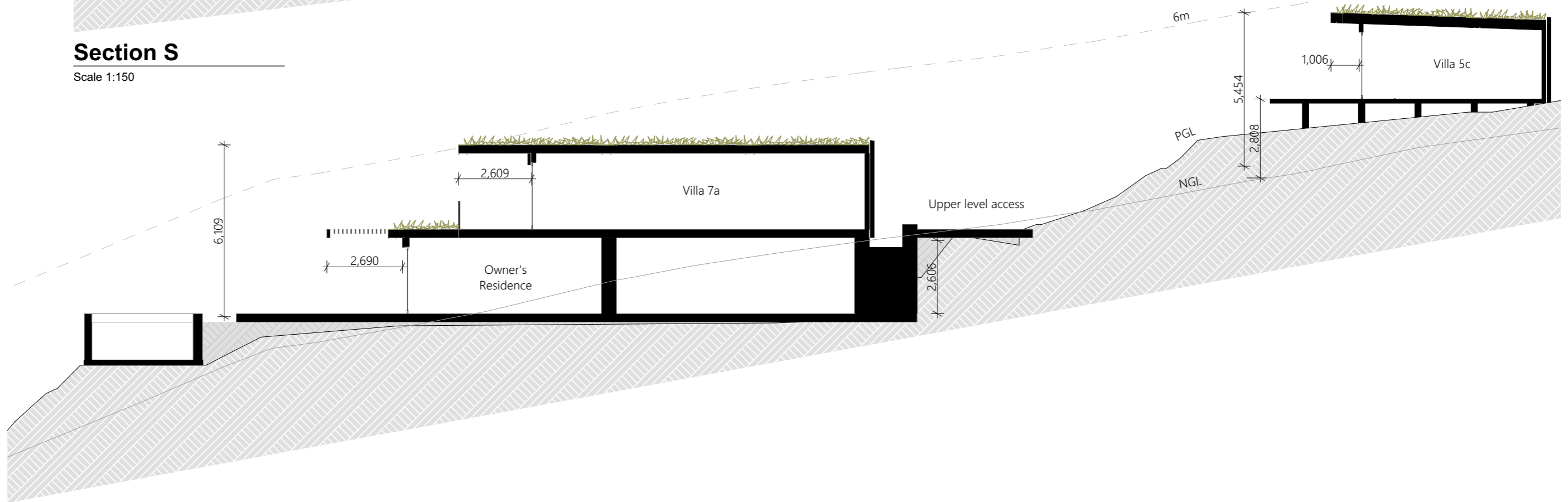
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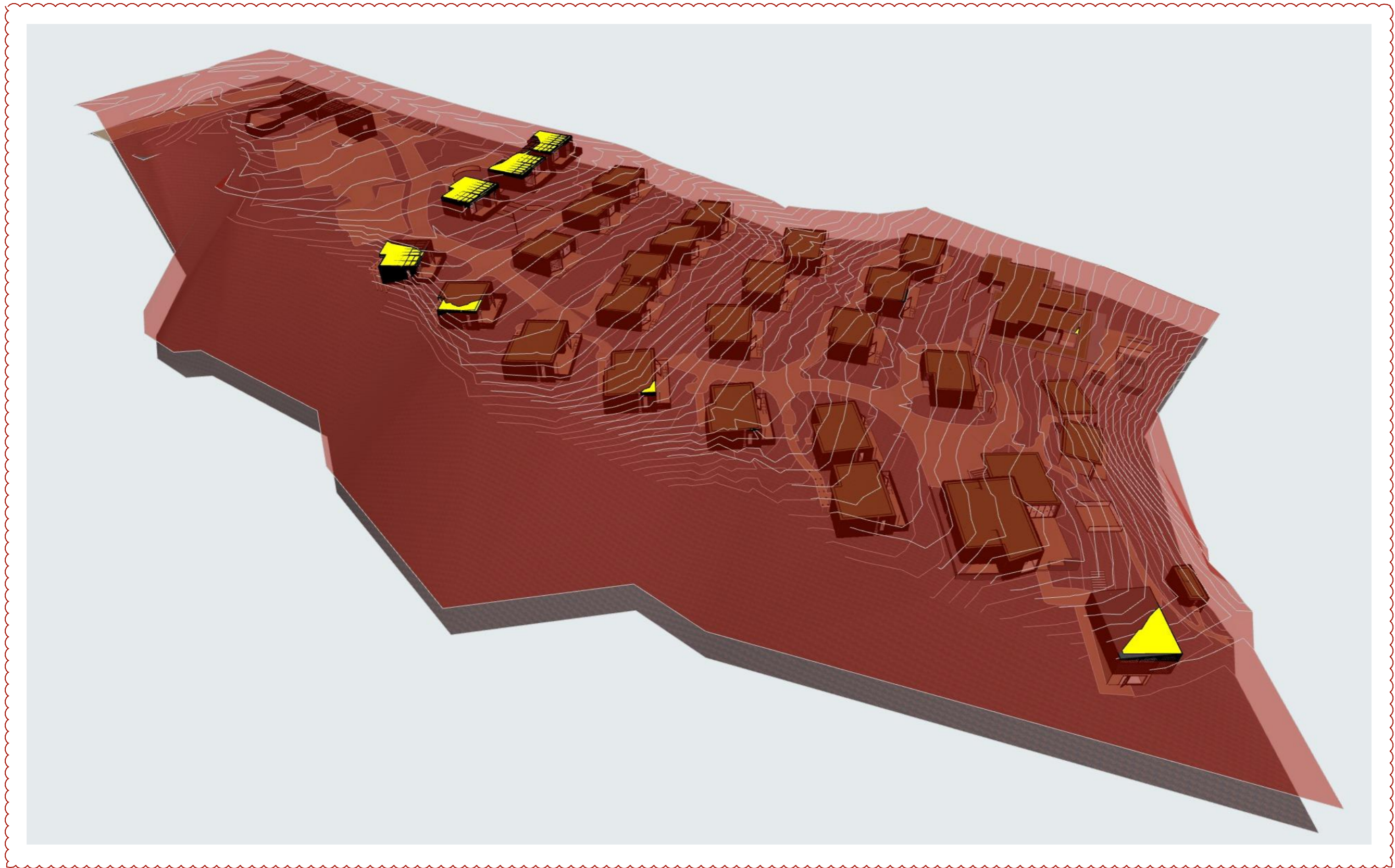
## Section S

Scale 1:150



## Section T

Scale 1:150





## Architectural Design Statement

### Waimarino Lodge Bob's Cove, Queenstown

Please read this statement in conjunction with the plans provided. This statement will provide an overview of the architectural design response. The project scope and landscape design are covered elsewhere.

The brief for the Waimarino Lodge was to create a built form that sat lightly in the landscape, to protect the outstanding natural character of the area and to enable the guests a sense of connection to the natural environment.

#### Site Layout:

The various built forms are small in scale and have been broken up where possible to avoid any large continuous forms. The villas and other buildings have been scattered throughout the site, with varying levels and are connected with informal gravel chip pathways. This allows the built form to sit within the landscape without looking overly structured.

The main access road / pathway curves through the site to avoid any straight lines and to stop any large sections of the access road being visible from any one vantage point on the lake.

The carparking area is located at the top of the site to reduce the visual impact and remove cars from the development. This allows the pathways to be smaller and more naturally formed.

#### Architectural Forms:

As you enter the site dense kanuka and manuka form an interwoven wall of dark damp branches with a transition to the green canopy above. This transition between the dark branches and canopy above informs a key part of our design response and treatment for the facades.

All of the buildings will be clad with dark stained plywood, with a rain screen of rough sawn timber located over the plywood cladding. The rainscreen will consist of dark stained timber slats with random sizes and spacings. Being a rainscreen, it will sit over the cladding and any flashings allowing us to conceal typical metal edges around windows and to roof edges. The rainscreen slats will extend approx. 150mm above the roof line, that provides an opportunity for light to pass through and break up this roof line. The inclusion of green roofs, will also allow planting to partially overhang and grow through the separations in the slats, providing a soft transition, much like the surrounding tree canopies.

Low, flat roof forms with large roof overhangs have been used to the lake front to provide shadow lines over glazed elements and create more recessive forms.

The buildings to the front of the site being the owner's residence, yoga studio, sauna, and restaurant will all be sunken back into the natural ground level to minimize their visual impact from above and below. The sunken forms will allow the green roof to appear as a continuation of the ground level vegetation.

The owners residence has been sunken back into the site the most, being the only two level building. Green roofs will be used at the lower and upper levels to create a natural pattern of dark undergrowth and green canopies above.

The distillery is raised above ground level, but has been tucked into the established bush line along the gully. The distillery will have glazing at high level to all walls, allowing a view through the building to the tree canopy beyond.

**Materiality:**

The cladding and rain screens will be rough sawn and natural, with a dark stain that has an LRV of no more than 10%.

All decking used throughout the site will be thermally modified rather than treated, with a penetrating stain applied that allows the decking to silver of and age naturally.

Balustrades will be constructed with fine matt black metal, so they are as visually permeable as possible.

**Conclusion:**

The intent with the architectural design is to create very recessive forms that allow the natural characteristics of the site to remain the outstanding feature. The cladding and forms provide a similar textural experience to walking through the bush where possible and allow the natural landscape to dominate.

Peter Marment

A handwritten signature in black ink, appearing to read 'Peter Marment', written in a cursive style.

**Peter Marment** (NZIA, NZRAB reg. 5113)  
Director / Architect



## Landscape Assessment

Waimarino

Bobs Cove

7 July 2021

### INTRODUCTION

1. This landscape assessment has been prepared by Baxter Design to assess the potential landscape and visual effects of a proposed development for Bobs Cove, Queenstown.
2. The proposal seeks resource consent for the construction of a lodge on the land legally described as Lot 100 DP 494333 and Section 28 Block Mid Wakatipu SD. The proposed lodge includes:
  - 24 villas,
  - A reception building,
  - A restaurant building,
  - A distillery building,
  - An owner's residence,
  - Paths and accessways
  - Indigenous revegetation.
3. Baxter Designs role within this proposal has included collaboration with Design Base Architecture, Dawn Palmer (Ecologist and Environmental Consultant) and John Edmonds and Associates (Planners). We were engaged to assist with the concept design (including layout, conceptual earthworks/levels and existing and proposed planting) for this proposal and to undertake a landscape and visual assessment.
4. For this proposal, the project team at Baxter Design includes Paddy Baxter (NZILA Registered Landscape Architect, Director of Baxter Design) and Jade Au Morris (NZILA Registered Landscape Architect).
5. The purpose of this assessment is to assess the landscape and visual effects of the proposed development on the existing character and quality of the site and surrounding landscape.
6. The following report includes:
  - Landscape methodology,
  - Description of the proposal,
  - Relevant statutory provisions,
  - Description of the existing landscape,
  - Issues,
  - Landscape and visual effect assessment,
  - Mitigation recommendations and positive effects,
  - Conclusion.

7. The following Baxter Design **Attachments** and **Appendices** are referred to in this assessment:

<b>Attachment A:</b> Context and Photo Location Plan	(ref: Baxter Design – 3020-SK27)
<b>Attachment B:</b> QLDC Maps – Proposed District Plan	(ref: Baxter Design – 3020-SK28)
<b>Attachment C:</b> Approved Development Areas ( <b>RM130174</b> )	(ref: Baxter Design – 3020-SK43)
<b>Attachment D:</b> Existing Site Vegetation	(ref: Baxter Design – 3020-SK51)
<b>Attachment E:</b> Site Masterplan	(ref: Baxter Design – 3020-SK54)
<b>Attachment F:</b> Proposed Planting Zones	(ref: Baxter Design – 3020-SK55)
<b>Attachment G:</b> Pole Location Plan	(ref: Baxter Design – 3020-SK56)
<b>Attachment H:</b> Concept Levels	(ref: Baxter Design – 3020-SK57)
<b>Attachment I:</b> Existing Vegetation to be Removed and Retained	(ref: Baxter Design – 3020-SK53)
<b>Attachment J:</b> Visibility Photos	(ref: Baxter Design – 3020-SK31-37)

**Appendix A:** Landscape and Visual Effects Scale Rating  
**Appendix B:** Planting Palette  
**Appendix C:** Landscape Maintenance and Management Plan

## LANDSCAPE METHODOLOGY

8. The structure of this report is based on a 'proposal-based' assessment and will follow the concept and principles of the *Te Tangi A Te Manu – Aotearoa New Zealand Landscape Assessment Guidelines*.
9. The methodology is consistent with the above guidelines and includes the following tasks:
- Identifying the proposal,
  - Desk-top research and site surveys,
  - Site visits to the site, surrounding public and private views – including views from the surface of the lake,
  - A review of the QLDC Operative and Proposed District Plan policies, objectives and assessment matters,
  - Consideration throughout the design process on measures to avoid, remedy and mitigate potential adverse effects, and promote positive effects.
10. The effects rating scale used in this assessment is a modification on the NZILA 7-point scale of effect and adopts the *Guidelines for the Assessment of Landscape and Visual Effects, Supplementary Statement of Evidence of Bridget Mary Gilbert for Queenstown Lakes District Council, Topic 2 – Rural Landscapes, 29 April 2019*. This includes the following 7-point scale:

**Very high, High, Moderate-High, Moderate, Moderate-Low, Low and Very Low.**

(Note: Please refer to **Appendix A** of this report for the detailed effects rating scale and associated explanation).

## DESCRIPTION OF THE PROPOSAL

11. The proposed development is predominantly located on Lot 100 DP 494333, with a portion (3378m<sup>2</sup>) of the development located on Section 28 Block Mid Wakatipu SD. All development is located on the southern side of an existing gully which runs east to west on the northern boundary of Lot 100 DP 494333 and is accessed by Tui Drive.
12. The following outlines the key components of the proposal which are pertinent to assessing the potential landscape and visual effects. (Note: The project description of the AEE will provide full details of the proposal). The proposal includes:



13. **Built form:** The proposal includes a series of small villas, which are staggered down the landscape from east to west, following the natural landform and orientated to provide a balance between lake views and solar gain. A larger restaurant and owners' residence are located on a lower elevation on the western side of the property.
14. The majority of buildings are under the maximum 6m height level in accordance with rule 22.5.18, with the bulk of the structures, being the accommodation villas being approximately 4-5m above existing ground level. The distillery and 6 of the villas breach the permitted height plane (**refer Architecture plans**). The eastern villas (1b, 1c and 1d) breach the maximum height plane between 450-850mm. The gully villas (1a, 2a and 4a) and the distillery over hang the top of the gully and are nestled within the existing tree canopy. The gully sides are relatively steep and the 6m rolling height plane responds to this natural landform. As a result, the 3 identified villas (1a, 2a and 4a) and distillery building breach the maximum height plane between 450mm-2.5m.
15. All buildings outlined below will be clad in vertical timber battens and stained a dark recessive colour with an LRV of less than 27%. The majority of the proposed buildings will be single-story (apart from the owner's residence) and have a mono-pitched roof form with either green roof or solar panel (see below). **Attachment H** provides the finished floor level (FFL) for all buildings.
16. The proposed built forms include:
- A manager's quarters – a 7 x 7m building located at the far eastern end of the property, with solar panels on the roof.
  - A reception – a 10 x 5m building located adjacent to the main accessway, with solar panels on the roof.
  - 24 villas – which are staggered down the hillside and constructed on timber piles. Villa typologies include:
    - 4 standard villas (54.54m<sup>2</sup>), with a solar panel roof,
    - 8 standard villas (54.54m<sup>2</sup>), with a green roof,
    - 4 premium villas (72.55m<sup>2</sup>), with green roof.
  - An owner's residence – a two-storey building with a flat green roof, set into the hillside to the east, with retaining walls as required. The building will be clad in a dark recessive colour with an LRV of less than 27%, with glazed openings on the western side. The western façade is visually broken down into smaller sections to reduce the bulk form, this is achieved through a mix of recesses, dark stained timber cladding and glazed openings (**refer Architectural plans**).
  - A restaurant building – a single-storey building with a green roof set into the hillside with retaining walls as required. The building will be clad in a dark recessive colour with an LRV of less than 27%, with glazed openings on the western side.

*(Note: refer to Architect plans for building design and further details).*

17. **Access:** The proposed development will be accessed from Tui Drive over an existing entry on the north-eastern corner of the property. Access throughout the property includes:
- Arterial accessway – a 3.5m wide gravel accessway, running east-west centrally through site. This accessway will have a maximum grade of 1:6 and will meet the requirements for fire service vehicles. This accessway will connect between the north-eastern entry to the site and the restaurant and owner's residence on the western end of the site. This access is for the use of carts, pedestrians, back of house vehicles and fire service vehicles.
  - Secondary accessway – includes a series of 2m wide gravel pathways which extend perpendicular to the arterial accessway, running north to south. These pathways will be used by pedestrians and carts to access the villas. Each pathway provides for suitable cart turning areas,
  - Gravel walking paths – 1m wide gravel pathways towards the foreshore and yoga studio,

- Walkway through gully – a 1.2m wide informal pathway through the gully and to access villas where contours allow,
- Gravel carpark – will including parking for 20 vehicles and 8 cart charging stations.

18. **Earthworks:** Approximately 5700m<sup>3</sup> of earthworks will be required over an area of approximately 9510m<sup>2</sup> (**refer JEA earthworks plans**). Within this area there is approximately 1655m<sup>2</sup> of notable existing vegetation, with the remaining area being already cleared. The proposed earthworks are required to:

- Provide a maximum 1:6 grade for the new arterial accessway,
- Provide access to the villas with a maximum 1:10 grade for the secondary accessways,
- Provide a maximum 1:2 slope for planted areas between villas. **Attachment H** identifies 3 areas which require a 1:1 grade. The identified areas will use Flex MSE or similar and will be revegetated with mass indigenous planting.

*(Note: refer JEA for earthworks details and calculations).*

19. **Existing vegetation to be removed and retained:** The proposed development is located on the southern side of the gully, retaining approximately 4730m<sup>2</sup> of existing indigenous vegetation and the majority of the protected trees identified on the previous consent for **RM130174**. The proposal retains 30 of the protected trees and requires the removal of 5 protected trees (**refer Attachment I**).

20. Following the pre-app site meeting with Council, the design and ecology team have identified notable existing vegetation not previously identified within **RM130174**. The notable vegetation to be removed (approximately 1655m<sup>2</sup>) and retained (880m<sup>2</sup>) is shown on **Attachment I** and detailed in the Dawn Palmer Ecology Report.

21. A landscape maintenance and management plan are included in **Appendix C**, identifying the appropriate methods to remove any existing vegetation.

22. **Proposed indigenous planting:** Baxter Design and Dawn Palmer have collaborated to provide an indigenous planting palette which reflects the local environmental conditions and existing vegetation in the surrounding area, avoiding over domestication of the site.

23. The proposed indigenous planting aims to visually integrate the development into the surrounding landscape and improve biodiversity of the site. The proposal includes approximately 6430m<sup>2</sup> of indigenous planting. The planted areas are categorised into 5 types, including:

- Tall privacy indigenous planting – for areas wider than 3m (approximately 2020m<sup>2</sup>),
- Tall privacy indigenous planting – for narrow areas (less than 3m) between villas (approximately 800m<sup>2</sup>),
- Low level indigenous planting on the western side of the villas, 0.5 – 2m in height (approximately 1700m<sup>2</sup>),
- Extensive green roof planting (approximately 1910m<sup>2</sup>),
- Edible garden (planted in areas as required).

24. In addition, 26 Mountain beech and 3 Red Beech trees at a 45L grade (approximate height between 2-3m at time of planting) are proposed to provide vegetated scale and a framework of trees above the proposed roofs.

*(Note: Refer **Attachment F** for planting categories and **Appendix B** for planting palette and requirements).*

25. **Other:**

- Services area – a fenced gravel area adjacent to the carpark, for storage of bins etc,
- Edible garden – with 3 green houses, raised planters and gravel area.

## 26. Measures to avoid potential adverse effects or enhance positive effects:

- Protection of the majority of the protected trees previously identified (**RM130174**). The proposed development will retain 30 out of the 35 protected trees.
- Where feasible, retain additional notable vegetation identified on site. This will retain existing wildlife habitat and food sources and retain mature tree height to aid in visually absorbing the proposed development into the landscape, from wider views.
- Approximately 6430m<sup>2</sup> of indigenous vegetation is to be planted throughout the development. The proposed planting will:
  - Reflect local species in the vicinity,
  - Improve the biodiversity of the site,
  - Provide habitat and food sources for native fauna,
  - Visually integrate the built development into the surrounding landscape,
  - Extend wildlife corridors from the neighbouring DOC land.
- Retain the ecosystems of the existing gully, limiting development to the southern side of the gully.
- The majority of structures (apart from 4 villas, the reception and managers quarters) will have a green roof system, reducing stormwater peak flows, increasing biodiversity and visually integrating the built form into the landscape. Those structures without a green roof will have solar panels installed onto the roofs. It is noted that the 5 structures with solar panels installed on their roofs are located at the top or north-eastern end of the site.
- The design intent of the architectural form, scale and layout responds sensitively to the landscape, visually integrating the built forms into the existing and proposed planting patterns. The built forms are either small scale structures, avoiding dominance within the landscape, or the visible facades of the larger buildings, are broken into smaller elements, utilising a mix of recessed details, dark stained timber cladding and glazed openings. Thereby reducing the perceived scale of the larger buildings (restaurant and owners' residence).
- All exterior walls will be clad in a dark stained timber, with an LRV of less than 20%, to aid in visually recessing the built form into the surrounding landscape.
- Selective removal of exotic pest species and replacement with appropriate indigenous vegetation where appropriate.

## RELEVANT STATUTORY PROVISIONS

27. Under the Proposed District Plan (PDP), the proposed site (Lot 100 DP 494333 and Section 28 Block Mid Wakatipu SD) is located within the Rural Zone with Lot 100 DP 494333 falling within the Rural Residential Bobs Cove Sub-Zone. The site has an Outstanding Natural Landscape (ONL) overlay (**refer Attachment B**).
28. Under the Operative District Plan (ODP), Lot 100 DP 494333 falls within the Rural Residential Zone within the Bobs Cove Sub-Zone. Part Section 28 Block Mid Wakatipu SD at Bobs Cove is within the Rural Zone. The site is within the District Wide Outstanding Natural Landscape (ONL-DW).
29. This landscape assessment will respond to the following District Plan assessment matters:

### Proposed District Plan (PDP):

Chapter 21.21.1 Rural - Outstanding Natural Landscapes

Chapter 22.5.29 Rural Residential Bobs Cove and Sub-Zone

Chapter 27.9.3.2 Subdivision and Development

Operative District Plan (ODP):  
 Section 5.4.2.2 (2) Outstanding Natural Landscapes (District Wide)  
 Section 8.3.2 Rural Residential Sub-Zone at Bobs Cove

## DESCRIPTION OF THE EXISTING LANDSCAPE

30. For this application, the 'site' refers to all items identified within the description of the proposal above, this includes but is not limited to, the built form, accessways, earthworks and indigenous planting.
31. The proposed development is predominantly located on Lot 100 DP 494333 (approximately 14.69 hectares), with a minor portion (3378m<sup>2</sup>) of the development located on the western corner of Section 28 Block Mid Wakatipu SD (89.89 hectares).
32. The following will identify both the wider and site landscape values:

### The Wider Landscape

33. The site is located in the area known as Bobs Cove, is approximately 14km west of Queenstown, on the southern side of the Glenorchy-Queenstown Road.
34. A previous assessment within the surrounding area has described the landscape as *'a shallow basin and lake terrace landscape wedged between a steep mountainous ridge that is part of the Richardson mountains, and the northern shores of Lake Wakatipu'*<sup>1</sup>. The landform of the shallow basin gradually merges into the steeper fans of the land to the north. The steep sided face of this ridge is predominantly dense beech forest, known as Twelve Mile Bush. The basin landform gradually descends down to the west to Bobs Cove.
35. Bobs Cove is a popular area for walkers, boaters and kayakers. A public walking track extends along the foreshore from Twelve Mile Bluff (west of the site) to the Twelve Mile Delta Campsite (east of the site). The walking track climbs up to the top Picnic Point, which has 360 degrees views, including views of the proposed site.
36. Picnic Point is a rocky peninsula extending south-west from the lake terrace and forming the sheltered cove. The peninsula is a distinct hummocky form rising up to 385masl. A larger hummocky landform is located on the lake terrace to the east of the site and rises up to approximately 487masl, providing a backdrop to the proposed site. Both hummocky landforms have softly rounded tops and are covered in regenerating native bush and stands of gum trees.
37. The Glenorchy – Queenstown Road runs through the northern side of the basin from east to west, accessing the existing and consented residential development on either side of the road.
38. To summarise, Bobs Cove is a small pocket of rural residential development within a shallow basin landform, contained by the densely vegetated and steep sided mountain face to the north and the large vegetated hummocky landforms which extend to the peninsula to the south-west. The existing indigenous vegetation wraps around and encloses the area of human development. Views of the site are dominated by the immediate natural landform, distant mountain ranges and surrounding lake views.

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<sup>1</sup> RM130174 – Glen Tui Heights Limited – Richard Denney – 3<sup>rd</sup> December 2013

### The 'Site' Landscape

39. The proposed site is approximately 10,800m<sup>2</sup> in size and is accessed from the north-eastern corner of the site by Tui Drive. The lot is approximately 220m long, with the land descending down from the east to the west. Across the site there is a combination of small, relatively flat areas and areas of steeper landform. The western boundary of the site is set back approximately 115m from the lake edge.
40. The width of the proposed lot varies from 70m – 105m wide and is bordered by consented rural residential development on Lot 101 DP 539248 to the north and east (consented development outlined below) and DOC land to the south and west.
41. A densely vegetated gully runs along the northern boundary of the site from east to west. The report by Dawn Palmer provides a description on the existing vegetation and features of this gully.
42. The existing vegetation on site includes (**refer Attachment D and Dawn Palmer Ecology Report**):
  - Gully vegetation (approximately 4730m<sup>2</sup>),
  - 30 protected trees as identified on **RM130174**,
  - Notable vegetation following pre-app meeting.

### Existing and Consented Development

43. The proposed site is located on the south-western corner of the Rural Residential and Bobs Cove Sub-Zone (**refer Attachment B**). The zone includes rural residential development on both sides of the Glenorchy – Queenstown Road.
44. It is acknowledged within this assessment that the proposed site and neighbouring property is subject to change, with consented development approved for the area (**RM130174, refer Attachment C**).
45. The neighbouring lot (Lot 101 DP 539248), directly north of the proposed site includes 10 consented development areas, which are staggered down the natural landform from east to west. The proposed development areas are between 900m<sup>2</sup> – 2000m<sup>2</sup> accessed by a partially formed driveway, with controls providing strong vegetative cover.
46. The proposed site has 3 approved development areas (**RM130174**), accessed by the partially formed driveway on the southern side of the property. These development areas vary in size between 1540m<sup>2</sup> – 3350m<sup>2</sup>, allowing for a total development area, including clearance, of up to 7320m<sup>2</sup>. The undomestic area is approximately 7390m<sup>2</sup>. It is noted that 15 protected trees, are located within or on the boundary of the approved development areas.
47. Approved activity within the site's development area includes:
  - Clearance of all land (Rule 22.5.28),
  - The maximum ground floor area not to exceed 15% of the net site area and not to exceed 500m<sup>2</sup> (Rule 22.5.2 and 22.5.3),
  - Maximum building height at 6m (Rule 22.5.18).
48. In regards to the site coverage, if the proposed development were wholly within the development areas, it would comply with the above approved activity, with total built form occupying 15% of the net site area.
49. In regards to maximum building height, the majority of buildings are under the maximum 6m height level in accordance with the approved activity, with the bulk of the structures, being the accommodation villas being approximately 4-5m above existing ground level. However, the distillery and 6 of the villas breach the permitted

rolling height plane (**refer Architecture plans**). The eastern villas (1b, 1c and 1d) breach the maximum height plane between 450-850mm. The gully villas (1a, 2a and 4a) and the distillery over hang the top of the gully and are nestled within the existing tree canopy. The gully sides are relatively steep and the 6m rolling height plane responds to this natural landform. As a result, the 3 identified villas (1a, 2a and 4a) and distillery building breach the maximum height plane between 450mm-2.5m. Taking into account the established vegetation and natural landform, the breach in height over the gully will be barely discernible when viewed from surrounding public views.

50. It is acknowledged that the approved development for the site and neighbouring properties will modify the existing landscape character and existing visual amenity values of the site.

## LANDSCAPE AND VISUAL EFFECTS

### PDP Chapter 21.21.1 Rural - Outstanding Natural Landscapes

#### Effects on landscape quality and character

51. The following attributes are taken into consideration when assessing the landscape quality and character of the ONL.
52. Physical attributes: The Bobs Cove rural residential area is located within a shallow basin, contained to the north by the densely vegetated and steep sided mountain face and to the south-east and south west by two distinct hummock landforms. The proposed site is located on the western side of this basin, on the land which descends down to Lake Wakatipu. The hummock to the south-west of the site forms part of the peninsula which wraps around the cove, providing partial separation from the large expanse of Lake Wakatipu. This landform creates a unique and picturesque scene when viewed from surrounding areas and within the site and has a profound influence on the existing landscape character.
53. The steep sided mountain face, the hummocky landform and the land extending down to water level is densely vegetated, predominantly with indigenous vegetation and scatterings of exotic species such as Eucalyptus, Broom, Hawthorn, Gorse and other such species. This existing vegetation encloses the pocket of rural residential development within Bobs Cove.
54. Visual attributes: The aesthetic values of the surrounding landscape are considered to be highly memorable and natural, making it a popular walking, photography and water activity destination. As shown on **Attachment J** (photos 1 and 2), views from Bobs Cove foreshore are focused towards the lake and distant mountain views, with the site being part of the vegetated hillside behind.
55. The site is part of a wider vegetated area **Attachment J** (photo 5), providing a layer of texture over the natural hummocky landform. This predominantly indigenous vegetation provides little seasonal variation, aside from loss of direct sunlight in the middle of winter (June).
56. The proposed site is located on the south-western corner of the Rural Residential and Bobs Cove Sub-Zone (**refer Attachment B**), which includes existing and consented rural residential development on both sides of the Glenorchy – Queenstown Road. When viewed from Picnic Point and the Glenorchy – Queenstown Road (**refer Attachment J**) the site currently appears to be on the edge of this zone within a highly vegetated area. However, future development is approved for the proposed site, and the land to the north (**refer Attachment B**). This approved development will change the existing landscape character and quality of the site and immediate surroundings, adding a layer of human modification to the currently vegetated landscape view. The existing zoning anticipates development and could include a pattern of driveways, residential dwellings, domesticated planting, exterior lighting and outdoor living areas.

57. Appreciation and cultural attributes: The proposed site is located on land identified as Wāhi Tūpuna (**refer Attachment B**). As identified within Chapter 39 of the PDP, Punatapu (Bobs Cove and surrounds) was used as a nohoaka or staging post for mana whenua ancestors who travelled up and down Whakatipu Waimāori. Values to be acknowledged include tauraka waka, nohoaka, archaeological values and wāhi tapu. The importance of consultation with Iwi is acknowledged and is currently being undertaken (refer AEE).
58. Landscape quality and character summary: The proposed built forms are predominately located within the area of land approved for development (**RM130174**), avoiding development over the existing gully vegetation. The approved development area allows for 3350m<sup>2</sup> of cleared land, with the maximum building coverage limited to 15% of the net site area. The proposed development complies with the permitted building coverage limit and takes the opportunity to plant 6430m<sup>2</sup> of indigenous vegetation, avoiding the potential for large cleared areas.
59. Although parts of the proposal are located outside of the permitted development area (approximately 1135m<sup>2</sup>), opportunity is taken to provide smaller scale-built forms, which will nestle into the existing and proposed vegetation, avoiding adverse visual effects of large cleared areas and bulk-built forms. The proposed architectural palette includes dark stained timber cladding and green roofs which will aid in visually absorbing the built form into the hue and texture of the existing and proposed planting.
60. The proposed site is wedged between the DOC land to the south and existing gully vegetation to the north. Taking into account the surrounding vegetation, the retention of the protected trees and notable vegetation (**refer Attachment I**), the proposed Mountain and Red Beech (**refer Attachment F**) and the 6430m<sup>2</sup> of indigenous vegetation, the development will visually nestle into the existing vegetation patterns and mature tree canopies.
61. Modification to the existing landscape quality and character is anticipated and approved for the site and the land to the north. It is considered that the proposed design is sympathetic to the existing attributes of the site for reasons explained earlier in this report and will not degrade or compromise the existing or anticipated landscape quality and character.

#### PDP 21.21.1.4 Effects on Visual Amenity

62. The visual catchment of the proposed development is shown on **Attachment A**, this includes public views from the Bobs Cove walkway, Picnic Point, a small section of the Glenorchy – Queenstown Road and views from the surface of Lake Wakatipu.

#### Bobs Cove walkway and Picnic Point (Attachment F, photos 1 – 6)

63. The proposed site is visible from intermittent sections along the public walkway, partially screened in areas by the foreground landform and vegetation. Photos 1 – 6 show the locations of potential visibility along the walkway, this includes:
- **Bobs Cove beach** (photo 1) – approximately 115m west of the proposed site,
  - **The jetty** (photo 4) – approximately 360m south-west of the proposed site,
  - **Picnic Point** (photo 5) – approximately 560m south-west of the proposed site and at a higher elevation,
  - **Intermittent views along the walkway** (photo 3 and 6) – to the north-west and south-west of the proposed site at varying distances (between 300m – 600m from the proposed site).
61. Users of the walkway include tourists and locals. The walkway is a popular year-round walk. To both the familiar and unfamiliar eye, the surrounding landscape is picturesque and dominated by the diverse and panoramic landscape views, including views of the unique natural landform, distant mountain ranges and reflective waters of Lake Wakatipu (photos 2 and 5).

62. Bobs Cove beach is a stopping point for many people along the walk. From this location the viewer's eye is directed westwards towards Lake Wakatipu. The dominating view includes the immediate cove of water which is contained by the natural hummocky landform of Picnic Point and the steep sided, vegetated hillside of Twelve Mile Bush. Views beyond the cove include the extension of the water out to the wider Lake Wakatipu and the distant mountainous ranges (photo 2). When experiencing this panoramic landscape view, the proposed site is behind the viewer, at a distance of approximately 115m and nestled within the layers of existing and proposed vegetation. From this location, a viewer will see portions of the western structures set amongst the foreground vegetation and a strong palette of proposed vegetation on the site.
63. From the jetty (photo 4) and short intermittent sections of the walkway (photo 3 and 6), the proposed site is visible, appearing as an extension to the existing and consented development in the vicinity. The small scale of the proposed development will be a very small part of the wider landscape view, with the viewer experiencing parts of the structure within a highly vegetated site.
64. Picnic Point is located at a higher elevation to the proposed site and in comparison to other locations along the walkway, the proposed development will be viewed from above. From this viewing angle more of the site is visible, however views will look down onto the green roofs and the substantial scale of proposed vegetation. The proposed green roofs will aid in visually integrating the built form into the existing and proposed vegetation, reducing any potential adverse visual effects.
65. Although the proposed site will be visible from the above locations, opportunity has been taken to appropriately respond to the site and mitigate any potential adverse visual effects of the proposed development. This is achieved by small scale buildings to break up potential dominance of a larger bulk form, cladding buildings in dark stained timber walls and living green roofs and staggering the FFL of the built forms to respond to the site natural topography.
66. The proposal takes the opportunity to integrate into the established vegetation on site, maintaining the majority of protected and notable existing vegetation which provides the mature height and canopy. Furthermore, approximately 6430m<sup>2</sup> of indigenous vegetation is weaved through the whole site, including Mountain Beech and Red Beech trees at a 45L grade, providing a substantial starting point for the new vegetation. The proposed planting will visually blend into the existing vegetation surrounding the site, aiding in absorbing the proposed development into the wider landscape.
67. It is acknowledged that the proposed development will be a noticeable change to the existing landscape view, however this change is one that is approved and anticipated. It is considered that the site-specific design responds sensitively to the landscape and the small recessive structures will have a lower adverse visual effect in comparison to a larger bulk form which would be permitted in the approved development areas.
68. To that end, when viewed from Bobs Cove walkway and Picnic Point, the proposed development will have a low adverse visual effect on the existing landscape characteristics of the ONL and will not be visually prominent such that it detracts from public views of and within the ONL.

Glenorchy – Queenstown Road (Attachment J, photo 7)

69. Potential visibility from the Glenorchy – Queenstown Road is limited to a very short section (approximately 270m) of the road, travelling eastwards (photo 7) and at a distance of approximately 1.5km of the proposed site. It is noted that potential visibility of the proposed site is fleeting, due to the short section of potential visibility, winding nature of the road and 100km speed zone. It is considered that drivers and passengers are either focused on the road or the wider panoramic lake and mountainous views. The proposed site will be a very small part of this view and any potential visibility will be appropriately integrated into the existing and consented landscape quality and character.



70. To that end, from the Glenorchy – Queenstown Road it is considered that the proposed development will have a very low to negligible adverse visual effect on the existing landscape characteristics of the ONL and will not be visually prominent such that it detracts from public views of and within the ONL.

Lake Wakatipu (Attachment J, photo 8 – 13)

71. Potential viewers from the lake includes kayakers, private boaters and the Southern Discoveries – Spirit of Queenstown Scenic Cruise, operating a return trip from Queenstown to Mt Nicholas with a scenic stop in Bobs Cove. The scenic cruise runs 3 times a day.
72. The natural landform of the cove contains the visual catchment of the proposed site to within the cove and on entering/passing by the mouth of the cove (**refer Attachment A**).
73. As shown in the site photos (**refer Attachment F**), the proposed development is nestled into the natural landform and existing vegetation of the site and immediate surroundings. From the lake, existing human modification is evident in the landscape, with visibility of existing residential dwellings, roading and domesticated landscaping. The lighter colours and forms of the existing building create a visible pattern of structures within the vegetated landscape. The proposed development will read as part of this existing layer of human modification and will not appear out of context. As outlined earlier in this report, the proposed development takes opportunity to utilise recessive exterior cladding and green roofs. The proposed built forms are either small villa structures or the visible facades of the larger buildings are segmented into smaller elements by utilising mix of recessed detail, dark stained timber cladding and glazed openings, to reduce appearance of the bulk built form.
74. Taking into account the proposed recessive architectural design, existing vegetation to be retained, substantial amount of proposed indigenous planting, small visual catchment, it is considered that any potential visibility of the proposed development from Lake Wakatipu will have a low adverse visual effect on the existing landscape characteristics of the ONL and will not be visually prominent such that it detracts from public views of and within the ONL.

Effects on Visual Amenity Conclusion:

75. The proposed development responds to the natural landform and existing vegetation of the site, retaining the majority of the protected trees (**RM130174**) and where possible retaining additional notable vegetation identified. Both the protected and notable vegetation provides mature tree canopy, supporting the lower forest floor vegetation, providing habitat and food sources for native fauna and providing height and form to aid in mitigating potential adverse visual effects of the proposed development. In addition, the proposal includes Mountain Beech (26 trees) and Red Beech (3 trees) to be planted at a 45L grade (an approximate height of 2 – 3m at time of planting) and a diverse planting palette covering approximately 6430m<sup>2</sup> (**refer Attachment F and Appendix B**). This existing and proposed vegetation will aid in visually absorbing the proposed development into the surrounding vicinity.
76. The proposed development will not break the line and form of any prominent ridges, hills and slopes.
77. The proposed 3.5m wide gravel accessway meets the firefighting service requirements of the PDP and will be a maximum 1:6 grade to access the lower part of the site. Additional 2m wide gravel accessways will extend from the main accessway to provide cart access to the villas. The proposed planting will predominantly screen visibility of the accessway from surrounding public views, with glimpses of roading experienced. Any potential visibility will not be unexpected and will be in keeping with the existing landscape quality and character of the surrounding Bobs Cove Sub Zone.

78. All exterior lighting will be restricted to downlighting at the entry to buildings, along the accessways and any other exterior lighting. The proposed lighting will be in keeping with the objectives of the Southern Lighting Strategy, including low lux levels and minimal light spill, mitigating any adverse visual effect on the existing amenity values.

#### PDP 21.21.1.5 Design and Density of Development

79. The proposal restricts development to the southern side of the gully to retain the majority of the protected trees (30 out of the 35 protected trees) and the existing gully vegetation. The proposed buildings are to be clustered in an area which is predominantly cleared and the least sensitive to change. The maintenance of established vegetation on the flanks of the site, together with the 6340m<sup>2</sup> of indigenous planting, allows for the mature height and canopy of the existing vegetation to aid in integrating the proposal into the landscape and lower the potential adverse effect on the existing landscape.
80. When viewed from surrounding public and private views, it is considered that there are no areas of the site which are significantly less visible than others. The proposed design responds to the existing vegetation and natural landform of the site to shape the layout and density of the proposed development.
81. In comparison to what is approved for the site, development proposes small-scale buildings rather than larger bulk forms that could occur with 3 large residential houses. It is considered that the proposed design and density of the development is site responsive and sensitive to the existing landscape character and quality.

#### PDP 21.21.1.6 Cumulative Effects of Subdivision and Development on the Landscape

82. The landscape character and quality of the Bobs Cove Sub Zone is an evolving landscape, changing from a once highly vegetated landscape to a landscape with a layer of human modification, albeit still within a vegetated framework. The existing and consented development is visible from surrounding public views and visible development for the proposed site is anticipated. The proposed development will maintain and preserve the existing wider landscape character of Bobs Cove, which is one of low dark-coloured structures within an overwhelmingly bush landscape.
83. The proposal takes opportunity to provide a site-specific design which is responsive to the ONL and visual amenity values of the site and wider landscape. It is considered that the proposed design utilises mitigation methods (previously discussed within this report) to ensure that the proposal is sensitive to the receiving landscape and any adverse landscape and visual effects are low.

### **PDP Chapter 22.5.29 Rural Residential Bobs Cove and Sub-Zone**

84. To avoid repetition the following will respond only to matters which have not previously been assessed within this report. (*Note: refer AEE where appropriate*).
85. 22.5.29.2 – The proposal takes opportunity to minimise the impact of the built form by retaining a large amount of existing vegetation on site (approximately 5610m<sup>2</sup> and 30 protected trees) and proposing a substantial scale of planting within and around the proposed development. Furthermore, to remedy the removal of notable vegetation, Mountain Beech and Red Beech at a 45L grade are proposed, providing height and canopy. This existing and proposed vegetation will provide sufficient maturity to effectively minimise the impact of the proposed development when viewed from Lake Wakatipu and the very short section of Glenorchy – Queenstown Road.
86. 22.5.29.3 – The proposed development complies with the building coverage limit and therefore provides for 75% of the zone to be established and maintained as undomesticated, such that there is a predominance of indigenous vegetation.

87. 22.5.29.4 – The proposed form of the buildings includes essentially flat/mono pitched roofs, contained well within the maximum permitted height plane. To further mitigate any potential adverse visual impact from surrounding public views, the architectural design palette utilises green roofs and dark timber cladding, to visually recess the built form into the existing and proposed vegetation and land use patterns.
88. 22.5.29.5 – The proposed planting utilises all indigenous species, comprising a robust variety of canopy and understory planting. The planting palette has been compiled in collaboration with Dawn Palmer (Ecologist and Environmentalist) to ensure that all species are suitable to the local environment and reflect existing planting patterns in the surrounding vicinity.
89. The proposed planting zones are shown on **Attachment F**, with species, grades, spacing and planting percentages provided **Appendix B**.

#### **PDP Chapter 27.9.3.2 Subdivision and Development**

90. To avoid repetition the following will respond only to matters which have not previously been assessed within this report. (*Note: refer AEE where appropriate*).
91. 27.9.3.2b – The subject site is bordered by DOC land to the south and west. The proposed built form and earthworks are set back a minimum of 1m from the shared boundary and will have no adverse effects on the neighbouring non-residential land use. It is understood that a written agreement has been provided by DOC (**refer AEE**).
92. 27.9.3.2c – The proposal provides a site-specific architectural and landscape design, controlling the external appearance of the proposed development. This includes dark stained timber cladding and green roof structures. The site-specific design has provided a specific design to assess the potential adverse visual effect on the existing landscape character and visual amenity and visibility from public places.
93. 27.9.3.2d – The orientation of the dwellings and glazed areas have been designed to optimise a balance between solar gain and lake views. The proposal also includes solar panels on 4 villas, the reception and managers quarters.
94. 27.9.3.2f – **Attachment D** shows the protected trees (identified within **RM130174**) and notable vegetation not previously identified. Where feasible this existing vegetation is retained (**refer Attachment I**), ensuring that the amenity values currently provided by the mature vegetation is maintained.
95. 27.9.3.2h – The proposal utilises a singular arterial access way (3.5m wide), connecting between the eastern entry on the upper side of the site and the proposed communal area on the lower western side of the site. This access way is a maximum grade of 1:6, for the use of vehicles, firefighting services and walkers. A series of secondary access ways (2m wide) extend to the north and south, accessing the villas at a maximum grade of 1:10, for the use of walkers and 'golf' carts. It is considered that all access ways are an appropriate width and grade for their use and will provide a safe and efficient access.

#### **ODP Section 5.4.2.2 (2) Outstanding Natural Landscapes (District Wide)**

96. To avoid repetition the following will respond only to matters which have not previously been assessed within this report. (*Note: refer to the PDP assessment matters above where appropriate*).

##### 5.4.2.2 (2a) Potential of the landscape to absorb development

97. The potential visibility of the proposed development has been previously assessed within the PDP section of this report. From the identified viewpoints, any potential visibility of the development will be appropriate within the existing and approved landscape character. The proposal takes opportunity to mitigate potential adverse visual effects

through the use of dark stained timber cladding, green roofs and indigenous vegetation throughout the development and as a result the proposed development will not be visually prominent such that it dominates or detracts from views otherwise characterised by natural landscapes.

98. The proposed indigenous planting will weave through the proposed built form and access ways, creating a layer of planting over any earthworks associated with the proposed development. The planting selection reflects species found in the surrounding vicinity and will blend into the adjacent DOC land and existing vegetation on site. To that end, the proposed earthworks and planting will not detract from existing natural patterns and processes within the site and surrounding landscape.
99. No new boundaries are proposed and therefore will not give rise to planting, fencing or other land use patterns which appear unrelated to the natural line and form of the landscape.
100. **Attachment D** shows all protected and notable vegetation on the site, it is acknowledged that this existing vegetation includes indigenous ecosystems and wild life habitat of importance. Therefore, development is restricted to the southern side of the existing gully, minimising disturbance to ecosystems within the gully and protected trees. Where feasible protected and notable vegetation through the development area is retained. In addition, approximately 6430m<sup>2</sup> of indigenous vegetation will be replanted on the site to improve the biodiversity and wildlife habitat. Taking this into account, it is considered that the proposed activity will not have an adverse effect on any ecosystems identified and rather will improve the biodiversity of the site.
101. The proposed activity does not introduce any exotic species which have the potential to spread and naturalise.

#### 5.4.2.2 (2b) Effects on openness of the landscape

102. The potential adverse visual effects on the landscape from surrounding public places has previously been discussed in the PDP section of this report and shall not be repeated.

#### 5.4.2.2 (2c) Cumulative effects on Landscape Values

103. As previously discussed within this report, future development is approved for the subject site and neighbouring property, permitting 3 development areas within the site and 10 development areas on the land to the north. This will change the existing landscape quality and character to what is currently experienced at the time of writing this report.
104. It is considered that the proposed development responds sensitively to the existing natural character and ecological values of the site and will not introduce elements which are inconsistent with the anticipated changes to the site and surrounding landscape in the existing zoning. The site-specific design ensures that the proposal will be visually recessive within the landscape and is sensitive to the existing vegetation of significance, ensuring that the proposal does not exceed the site's ability to absorb change and will not lead to further degradation or domestication beyond what is already approved.

#### 5.4.2.2 (2d) Positive Effects

105. As previously identified within this report, the proposed development contributes positive effects on the site and neighbouring land. This includes, but is not limited to:
- Protection of the majority of the protected trees previously identified. The proposed development will retain 30 out of the 35 protected trees.

- Where feasible retain additional notable vegetation identified on site (some of which could be removed under the approved 'development areas', this provides existing wildlife habitat and food sources and provides mature tree height to aid in visually absorbing the proposed development into the landscape.
- Approximately 6430m<sup>2</sup> of indigenous vegetation is to be planted throughout the development. The proposed planting will:
  - Reflect local species in the vicinity,
  - Improve the biodiversity of the site,
  - Provide habitat and food sources for native fauna,
  - Visually integrate the built development into the surrounding landscape,
  - Extend wildlife corridors from the neighbouring DOC land.
- Retain the ecosystems of the existing gully, limiting development to the southern side of the gully.
- The majority of structures will have a green roof system, facilitating with storm water runoff, increasing biodiversity and visually integrating the built form into the landscape.
- Selective removal of exotic pest species and replacing with appropriate indigenous vegetation where appropriate.

106. Taking into account the protection of the majority of existing vegetation of significance and the addition of approximately 6430m<sup>2</sup> of indigenous vegetation, it is considered that the proposed development will enhance the ecosystems of the site.

107. A landscape management and maintenance plans is shown in **Appendix C**, outlining the methods for protecting existing vegetation and the reestablishment and management of the proposed indigenous vegetation.

### **ODP Section 8.3.2 Rural Residential Sub-Zone at Bobs Cove**

108. To avoid repetition the following will respond only to matters which have not previously been assessed within this report. (*Note: refer to the PDP and ODP assessment matters above where appropriate*).

#### 8.3.2.i General – Nature conservation values

109. The nature conservation values and opportunities for protection and enhancement of indigenous ecosystems has previously been discussed in the in this report and shall not be repeated.

#### Restricted discretionary activity – Structures

110. The external appearance of the proposed structures is documented within the architectural package. This includes dark stained vertical timber cladding, glazed openings and green roofing. The proposed external appearance will visually integrate the built form into the existing and proposed planting patterns.

111. The architectural design uses simple modern forms which is considered appropriate to the site and surrounding landscape character. It is considered that traditional rural elements are not fundamental within this area.

#### Discretionary activity – Visitor accommodation

112. The proposed development limits the number of car parks within the development to 20 car parks, limiting the traffic movement to, from and within the site. It is understood that the applicant will provide airport transfers and rental cars for visitors to the accommodation and staff transportation. The car park is located on the eastern end of the site, adjacent to the existing site entry, minimising vehicle movement through the site. Vehicle movement around the site is limited to golf carts and pedestrian movement, the limited vehicle movement will not adversely affect pedestrian safety.

113. The above measures have been put in place (refer AEE) to reduce potential adverse effects of traffic generation, noise and headlights. As the proposed development area is enclosed by existing and proposed vegetation it is considered that any potential adverse effects will not result in the loss of privacy for nearby private properties.

#### Setback from internal boundaries

114. The proposed buildings are set back between 10 - 30m of the northern boundary, providing an appropriate set back from the anticipated neighbouring development to the north and to retain the habitats and vegetation of the existing gully. This has resulted in the proposed built forms encroaching into the required 10m set back standards on the southern boundary. The proposed built forms will be located up to 1m of the southern boundary which borders DOC land. Consultation is ongoing with DOC (**refer AEE**).

#### Scale and nature of activities

115. The scale and nature of activities has previously been discussed in the in this report and shall not be repeated.

#### Building height in the rural residential sub zone at Bob's Cove

116. The majority of the built form is contained within the approved maximum height plane of 6m above existing ground level. The proposed built form is staggered down the site, responding to the natural landform, with the bulk of the structures, being the accommodation villas, approximately 4-5m above existing ground level.

117. The distillery and 6 of the villas breach the permitted height plane (**refer Architecture plans**). The eastern villas (1b, 1c and 1d) breach the maximum height plane between 450-850mm. The gully villas (1a, 2a and 4a) and distillery over hang the top of the gully and breach the maximum height plane between 450mm-2.5m.

118. The 6m maximum height limit is a rolling height plane above existing ground level. In regards to the breach in height of the gully villas and distillery, these buildings are located on the edge of the top of the gully. This landform steeply descends down from the top of the gully down to the base of the gully. As a result, the rolling height plane also steeply descends down, responding to the naturally gully landform.

119. The height and layout of the 3 identified gully villas and distillery which breach the permitted height plane, are considered to be visually coherent with the scale and height of the wider development. The proposed built forms will nestle into the existing tree canopies within the gully and will be visually mitigated by the proposed indigenous planting.

120. Taking the above into account, it is considered that the proposed breach in height plane will be barely discernible from surrounding public places and will not dominate the existing and proposed patterns of vegetation.

## **CONCLUSION**

121. To conclude, the proposal seeks approval for a lodge development including 24 villas, a reception, restaurant, distillery, owner's residence, access way, carpark and 6430m<sup>2</sup> of indigenous planting.

122. The proposed site and neighbouring land is located within the Bobs Cove Sub Zone. The site is approved for future development, potentially changing the existing landscape quality and character that is currently experienced at the time of writing this report. This landscape assessment has acknowledged this approved activity for the site.

123. The proposed development is located predominantly within the approved development area (**RM130174**), with approximately 1135m<sup>2</sup> located in the undomesticated area. The proposal complies within the 15% site coverage and maximum building height previously approved for the site. The scale of the development is considered to be appropriate to what is approved for the site.
124. The site-specific architectural and landscape design appropriately responds to the existing and anticipated landscape quality and character, taking opportunity to utilise dark recessive exterior cladding, green roofs and small built forms to visually integrate the built form into the existing and proposed planting patterns.
125. The proposed indigenous planting will occupy 6430m<sup>2</sup> of vegetation, wrapping around the proposed built forms and access ways. The planting palette (**Appendix B**) provides a biodiverse range of species of both canopy and understory planting. The proposed planting includes Mountain Beech and Red Beech trees to be planted at a 45L grade to provide structure, height and a strong starting point for the new vegetation. The planting will provide many ecological benefits as well as visually integrating the proposed built form into the vegetation patterns of the site and surrounding landscape. This is seen as promoting a better landscape outcome than what could arise through the creation of 3 single large dwellings, that would in effect, give rise to large 'holes' in the vegetation. The proposed development will have a continuous and consistent spread of vegetation throughout the proposal, often to the same height of the proposed dwellings.
126. Taking into account the above, the small visual catchment and the low level of adverse visual effect from identified viewpoints, it is considered that the proposal will be appropriate within the receiving landscape and will not detract from the quality and character of the ONL, beyond what is already approved and anticipated for the site.



**Landscape Appendix**  
**Waimarino**  
**Bobs Cove**  
5 July 2021

**Appendix A: Landscape and Visual Scale of Effects**

**Appendix B: Planting Palette**

**Appendix C: Landscape Maintenance and Management Plan**



## APPENDIX A

Landscape and visual effects rating scales extracted from the Guidelines for the Assessment of Landscape and Visual Effects, Supplementary Statement of Evidence of Bridget Mary Gilbert for Queenstown Lakes District Council, Topic 2 – Rural Landscapes, 29 April 2019.

<b>Adverse Visual Effects Rating Scale</b>	
<b>Effect Rating</b>	<b>Use and Definition</b>
<b>Very High</b>	Total loss of key elements / features / characteristics, i.e. amounts to a very significant negative change in visual amenity.
<b>High</b>	Major modification or loss of most key elements / features / characteristics, i.e. little of the pre-development visual amenity remains and amounts to a significant negative change in visual amenity values. Concise Oxford English Dictionary Definition High: adjective - Great in amount, value, size, or intensity.
<b>Moderate - High</b>	Modifications of several key elements / features / characteristics, i.e. the pre-development visual amenity remains evident but materially changed.
<b>Moderate</b>	Partial loss of or modification to key elements / features / characteristics, i.e. the pre-development visual amenity remains evident but is changed. Concise Oxford English Dictionary Definition Moderate: adjective - average in amount, intensity, quality or degree
<b>Moderate - Low</b>	Small loss of or modification to one or more key elements / features / characteristics, i.e. new elements are not uncharacteristic within the visual environment and do not disturb the pre development visual amenity.
<b>Low</b>	Very little material loss of or modification to key elements / features / characteristics. i.e. new elements integrate seamlessly into the pre-development visual environment. Concise Oxford English Dictionary Definition Low: adjective- 1. Below average in amount, extent, or intensity.
<b>Very Low</b>	Negligible loss of or modification to key elements/ features/ characteristics of the baseline, i.e. visual influence of new elements is barely discernible.

<b>Adverse Landscape Effects Rating Scale</b>	
<b>Effect Rating</b>	<b>Use and Definition</b>
<b>Very High</b>	Total loss of key elements / features / characteristics / values, i.e. amounts to a very significant negative change in landscape character and / or landscape values.
<b>High</b>	Major modification or loss of most key elements / features / characteristics / values, i.e. little of the pre-development landscape character remains and amounts to a significant negative change in landscape character and / or landscape values. Concise Oxford English Dictionary Definition High: adjective - Great in amount, value, size, or intensity.
<b>Moderate - High</b>	Modifications of several key elements / features / characteristics / values, i.e. the pre-development landscape character and / or landscape values remains evident but materially changed.
<b>Moderate</b>	Partial loss of or modification to key elements / features / characteristics / values, i.e. the pre-development landscape character and / or landscape values remains evident but is changed. Concise Oxford English Dictionary Definition Moderate: adjective - average in amount, intensity, quality or degree
<b>Moderate - Low</b>	Small loss of or modification to one or more key elements / features / characteristics / values, i.e. new elements are not uncharacteristic within the receiving landscape and do not disturb the pre development landscape character and / or landscape values.
<b>Low</b>	Very little material loss of or modification to key elements / features / characteristics / values. i.e. new elements integrate seamlessly into the pre-development landscape character and / or landscape values. Concise Oxford English Dictionary Definition Low: adjective- 1. Below average in amount, extent, or intensity.
<b>Very Low</b>	Negligible loss of or modification to key elements/ features/ characteristics / values of the baseline, i.e. influence of new elements on landscape character and / or landscape values is barely discernible.

For the purposes of notification determination, an adverse effects rating of Moderate- Low corresponds to a 'minor' adverse effects rating. An adverse effects rating of 'Low' or 'Very Low' corresponds to a 'less than minor' adverse effects rating.

NB. These rating scales apply to adverse effects, not to positive effects.



## Appendix B: Planting Palette

This planting palette has been undertaken in collaboration with Dawn Palmer – Ecologist and Environmental Consultant, to identify suitable species and to improve the biodiversity values of the site.

The following plant list includes 5 categories which responds to the planting zones on *Baxter Design Attachment F 3020-SK55 Proposed Planting Zones*. These zones include:

- Tall Privacy Indigenous Planting (areas wider than 3m) = approx. 2020m<sup>2</sup>
- Tall Privacy Indigenous Planting (areas narrower than 3m) = approx. 800m<sup>2</sup>
- Low Level Indigenous Planting = approx. 1700m<sup>2</sup>
- Extensive Green Roof Planting = approx. 1910m<sup>2</sup>
- Edibles = planted as required

Each zone is to use a variety of species as shown in the table below, with a minimum of 30% of species from each sub category (this does not apply to the 'edibles' planting zone). The sub categories include:

- Trees and Shrubs (Trees = 25L or as available, Shrubs = PB5)
- Grasses, Sedges and Rushes and Ferns (PB2)
- Groundcover (PB2)
- Climbers (PB2)
- Herbs (PB2)

In addition, Mountain Beech (26) and Red Beach (3) trees are to be planted in locations shown on Baxter Design Attachment F 3020-SK55 Proposed Planting Zones. All Mountain Beech and Red Beech trees shown are to all be planted at 45L and at a height between approximately 2-3m.

*Note: Not all subcategories are used in each zone.*

*Grade size is a recommendation only, appropriate grade to be determined on nursery availability and application to site.*

*Smaller grades (PB2/5 as shown above) are considered to be more suitable for quicker establishment.*

*The following table include the additional notes:*

*\*Species not commercially available – would require translocation or propagation*

*\*\*Not found locally within the Bobs Cove Recreation Reserve or the Lakes Ecological Region, to be planted centrally within the previously approved development area only (refer to RM130174).*

Tall Privacy Indigenous Planting - areas wider than 3m (total = approx. 2020m <sup>2</sup> )		
Botanical Name	Common Name	Spacing (m)
<u>Trees and Shrubs</u>		
<i>Aristotelia fruticosa</i>	Shrubby Wineberry	1
<i>Aristotelia serrata</i>	Wineberry	2.5
<i>Carpodetus serratus</i>	Putaputaweta	2.5
<i>Coprosma lucida</i>	Shining Karamu	1.5
<i>Cordyline australis</i>	Cabbage Tree	2
<i>Dracophyllum longifolium</i>	Inaka	1
<i>Fuchsia excorticata</i>	Tree Fuchsia	2
<i>Griselinia littoralis</i>	Broadleaf	2.5
<i>Hoheria lyallii</i>	Mountain lacebark	2.5
<i>Leptospermum scoparium</i>	Manuka	1
<i>Lophomyrtus obcordata</i>	Rohutu, New Zealand myrtle	1.5
<i>Meliccytus ramiflorus</i>	Mahoe	1.5
<i>Myrsine australis</i>	Red Matipo	2.5
<i>Neomyrtus pedunculata</i>	Rohutu	1
<i>Olearia arborescens</i>	Glossy Tree Daisy	1
<i>Olearia avicenniifolia</i>	Mountain Akeake	1.5
<i>Olearia fragrantissima</i>	Fragrant Tree Daisy	2
<i>Pennantia corymbosa</i>	Kaikomako	1.5
<i>Pittosporum eugenioides</i>	Lemonwood, Tarata	3
<i>Pittosporum tenuifolium</i>	Kōhūhū	2
<i>Podocarpus laetus</i>	Mountain totara	3
<i>Prumnopitys taxifolia</i>	Matai	5
<i>Pseudopanax colensoi</i> var <i>colensoi</i>	Five finger	2
<i>Pseudopanax colensoi</i> var <i>ternatus</i>	Three finger	2
<i>Pseudopanax crassifolius</i>	Lancewood	1.5
<i>Pseudopanax ferrox</i>	Fierce Lancewood	1.5
<i>Pseudowintera colorata</i>	Red Horopito	1
<i>Sophora microphylla</i>	Kowhai	2
<i>Veronica salicifolia</i>	Koromiko	1.25
<i>Muehlenbeckia astonii</i>	Shrubby tororaro	2
<u>Climbers</u>		
<i>Clematis paniculata</i>	White Clematis	
<i>Muehlenbeckia axillaris</i>	Creeping Pohuehue	0.5
<i>Parsonsia heterophylla</i>	Native Jasmine	3
<u>Herbs</u>		

<i>Acaena anserinifolia</i> *	Bidibid	0.75
<i>Anaphalioides bellidioides</i> *	Hells Bells Daisy	0.5
<i>Leptinella squalida (mediana)</i>		0.5
<i>Raoulia tenuicaulis</i>	Canberra Grass	0.5
<i>Scleranthus biflorus</i>	Tutahuna, Mat Daisy	1.0

Tall Privacy Indigenous Planting - areas narrower than 3m (total = approx. 800m <sup>2</sup> )		
Botanical Name	Common Name	Spacing (m)
<u>Trees and Shrubs</u>		
<i>Coprosma crassifolia</i>	Coprosma	1
<i>Coprosma dumosa</i>	Coprosma	1
<i>Coprosma rugosa</i>	Coprosma	1
<i>Corokia cotoneaster</i>	Corokia	1
<i>Dracophyllum longifolium</i>	Inaka	1
<i>Gaultheria antipoda</i>	Bush Snow berry, Fool's Beech	1
<i>Pittosporum tenuifolium 'purpurea'</i> **	Kohuhu 'Purpureum'	1.5
<u>Climbers</u>		
<i>Clematis paniculata</i>	White clematis	na
<i>Muehlenbeckia axillaris</i>	Creeping pohuehue	0.5
<i>Parsonsia heterophylla</i>	Native jasmine	3
<u>Groundcovers</u>		
<i>Lycopodium fastigiatum</i> *	Alpine clubmoss, Mountain Clubmoss	na
<i>Lycopodium scariosum</i> *	Creeping Clubmoss	na
<i>Lycopodium volubile</i> *	Climbing Clubmoss, Waewaekoukou	na
<u>Grasses, Sedges, Rushes and Ferns</u>		
<i>Anemanthele lessoniana</i> **	Gossamer grass	0.5
<i>Poa imbecilla</i>	Weak poa	oversow
<u>Herbs:</u>		
<i>Anaphalioides bellidioides</i> *	Hells Bells Daisy	0.5
<i>Leptinella squalida (mediana)</i>		0.5
<i>Phormium tenax</i>	NZ Flax	1.75
<i>Scleranthus biflorus</i>	Canberra grass	0.5
<i>Raoulia tenuicaulis</i>	Tutahuna, mat daisy	1

Low level Indigenous Planting (total = approx 1700m <sup>2</sup> )		
Botanical Name	Common Name	Spacing (m)
<u>Trees and Shrubs</u>		
<i>Dracophyllum longifolium</i>	Inaka	1
<i>Leptecophylla juniperina</i> subsp. <i>juniperina</i>	Prickly Mingimingi	1
<i>Leucopogon fraseri</i> *	Patotara, Dwarf Mingimingi	0.5
<i>Neomyrtus pedunculata</i>	Rohutu	1
<i>Olearia arborescens</i>	Glossy Tree Daisy	1
<i>Ozothamnus vauvillersii</i>	Mountain Tauhinu	1
<i>Parahebe/ Veronica stricta</i> 'snowcaps'***	Koromiko	0.5
<i>Pittosporum tenuifolium</i> 'purpurea'***	Kohuhu 'Purpureum'	1.5
<i>Podocarpus nivalis</i>	Mountain Totara	1
<i>Veronica cupressoides</i>	Cypress Hebe	2
<i>Veronica odora</i>	Hebe	1
<i>Veronica salicifolia</i>	Koromiko	1.25
<u>Climbers</u>		
<i>Clematis paniculata</i>	White Clematis	
<i>Muehlenbeckia axillaris</i>	Creeping Pohuehue	0.5
<i>Parsonsia heterophylla</i>	Native Jasmine	3
<u>Groundcovers</u>		
<i>Lycopodium fastigiatum</i> *	Alpine Clubmoss, Mountain Clubmoss	
<i>Lycopodium scariosum</i> *	Creeping Clubmoss	
<i>Lycopodium volubile</i> *	Climbing Clubmoss, Waewaekoukou	
<u>Grasses, Sedges, Rushes and Ferns</u>		
<i>Anemanthele lessoniana</i> **	Gossamer grass	0.5
<i>Austroblechnum penna-marina</i>	Little Hard fern, Alpine Hard Fern	0.5
<i>Carex buchananii</i>	Buchanans Sedge	0.5
<i>Carex secta</i>	Purei	1
<i>Chionochloa conspicua</i>	snow grass	1
<i>Chionochloa flavicans</i>	snow tussock	0.5
<i>Chionochloa rigida</i>	Narrow-leaved snow tussock	1
<i>Festuca glauca/ trachyphylla</i> * **	Hard fescue	0.5
<i>Juncus edgariae</i>	Wiwi, Edgars Rush	1
<i>Lomaria discolor</i>	Crown Fern	0.5
<i>Notogrammitis billardierei</i> *	Common Strap Fern	1
<i>Parablechnum minus</i>	Swamp Kiokio	1
<i>Parablechnum montanum</i>	Mountain Kiokio	1

<i>Parablechnum novae-zelandiae</i>	Kiokio, Horokio, Palm Leaf Fern	1
<i>Polystichum neozelandicum</i> subsp. <i>zerophyllum</i>	Shield Fern	1
<i>Zealandia pustulata</i>	Hounds Tongue, Kowaowao	1
<b>Herbs:</b>		
<i>Acaena anserinifolia</i> *	Bidibid	0.75
<i>Anaphalioides bellidioides</i> *	Hells Bells Daisy	0.5
<i>Astelia nervosa</i> 'Westland'**	Mountain Astelia / Kakaha	1
<i>Leptinella squalida</i> (mediana)		0.5
<i>Phormium cookianum</i>	Mountain Flax	1.5
<i>Phormium tenax</i>	NZ Flax	1.75
<i>Raoulia tenuicaulis</i>	Tutahuna, Mat Daisy	1
<i>Scleranthus biflorus</i>	Canberra Grass	0.5

### Extensive Green Roof (total = approx 1910m<sup>2</sup>)

**Note:**

- The species identified are appropriate for an extensive green roof system which is to include a minimum 150mm growing medium depth.
- *Poa imbecilla* will be hydroseeded or over sown to provide full coverage over the roof. The lianas, ferns, grasses, sedges and herbs will then be planted throughout.
- Refer green roof supplier and **Appendix C** for landscape maintenance and management plan.

Botanical Name	Common Name	Spacing (m)
<b>Climbers</b>		
<i>Muehlenbeckia axillaris</i>	Creeping Pohuehue	0.5
<b>Ferns</b>		
<i>Austroblechnum penna-marina</i>	Little Hard Fern, Alpine Hard Fern	0.5
<i>Cranfillia fluviatilis</i>	Kiwakiwa	0.5
<i>Notogrammitis billardierei</i>	Common Strap Fern	1
<i>Zealandia pustulata</i>	Hounds Tongue, Kowaowao	1
<b>Grasses and Sedges</b>		
<i>Carex breviculmis</i> *	Grassland Sedge	0.25
<i>Festuca glauca/ trachyphylla</i> * **	Hard Fescue	1
<i>Poa colensoi</i>	Blue Tussock	0.5
<i>Poa imbecilla</i>	Weak Poa	oversow
<b>Herbs:</b>		
<i>Acaena anserinifolia</i> *	Bidibid	0.75
<i>Anaphalioides bellidioides</i> *	Hells Bells Daisy	0.5

<i>Leptinella squalida (mediana)</i>		0.5
<i>Scleranthus biflorus</i>	Canberra Grass	0.5

<b>Edibles</b>		
<b>Below lists edible native plants identified on site – these may be used and augmented with vegetables/herbs of the owners' choice.</b>		
Botanical Name	Common Name	Spacing (m)
<u>Trees and Shrubs</u>		
<i>Fuchsia excorticata</i>	Tree Fuchsia	2
<i>Leptecophylla juniperina subsp. juniperina</i>	Prickly Mingimingi	1
<i>Leptospermum scoparium</i>	Manuka	1
<u>Climbers</u>		
<i>Muehlenbeckia axillaris</i>	Creeping Pohuehue	0.5
<u>Clubmosses</u>		
<i>Lycopodium fastigiatum</i>	Alpine Clubmoss, Mountain Clubmoss	
<i>Lycopodium scariosum</i>	Creeping Clubmoss	
<i>Lycopodium volubile</i>	Climbing Clubmoss, Waewaekoukou	
<u>Ferns</u>		
<i>Parablechnum minus</i>	Swamp Kiokio	1
<i>Parablechnum montanum</i>	Mountain Kiokio	1
<i>Parablechnum novae-zelandiae</i>	Kiokio, Horokio, Palm Leaf Fern	1
<i>Polystichum neozelandicum subsp. zerophyllum</i>	Shield Fern	1
<u>Orchids</u>		
<i>Microtis unifolia*</i>	Onion Orchid	
<u>Regular Garden / Orchard – suggestions only</u>		
<i>Thymus vulgaris</i>	Thyme	
<i>Juniper horizontalis</i>	Juniper	
<i>Coriandrum sativum</i>	Corriander	
<i>Angelica</i>	Wild Celery	
<i>Prunus domestica</i>	Flowering Almond	
<i>Gevuina avellana</i>	Chilean Hazelnut	
<i>Cyanococcus</i>	Blueberries	
	Pear	
	Apple	
	Plum	
	Greengages	



## Appendix C: Landscape Maintenance and Management Plan

### A) INTRODUCTION:

This document sets out the landscape management and maintenance for the proposed site at Waimarino, Bobs Cove (Lot 100 DP 494333 and Section 28 Block Mid Wakatipu SD).

The purpose of this document is to outline methods and measures to be implemented during the construction phase of the proposal as well as the on-going site management and maintenance, ensuring that the proposed development avoids, remedies or mitigates potential adverse effects on the ecology, landscape character and visual amenity values.

*Note: refer to the Ecology Report by Dawn Palmer for analysis on existing site vegetation.*

The following Baxter Design **Attachments** are referred to in this document:

- Attachment E:** Site Masterplan
- Attachment F:** Proposed Planting Zones
- Attachment I:** Existing Vegetation to be Removed and Retained
- Appendix B:** Planting Palette

### B) OBJECTIVES:

The overall management goal for the proposed site is to encourage and enhance the biodiversity of the site and allow the site planting to integrate with the wider vegetation patterns in the surrounding vicinity.

As identified on **Attachment I**, there are 35 protected trees identified on the site which have previously been identified as part of **RM130174**. In addition, there are notable clusters and single trees which have been acknowledged as part of this application. Further details of this notable vegetation is identified within Dawn Palmers Ecology Report.

The proposed development acknowledges the importance of the previously unidentified trees of significance and the initial design layout has been reviewed to respond to this information. Where it is not plausible to retain protected and significant trees, the proposal takes opportunity to replace the removed trees with Mountain Beech (*Fuscospora cliffortioides*) and Red Beech (*Nothofagus fusca*) trees at a 45L grade/an approximate height of 2-3m.

The proposal includes approximately 6430m<sup>2</sup> of indigenous revegetation, with a diverse range of species which are found in the local environment (**refer Appendix B**). The proposed planting will enhance the ecological values of the site, provide a range of suitable food sources and refuge for native fauna and maintain the landscape character of the Bobs Cove area.

Site restoration is encouraged through selective removal of exotic and wilding species on site, such as Hawthorn, Pines and Eucalyptus. The Eucalyptus were previously introduced into the area to provide wood fuel for the kilns and now the mature species provide a canopy for the understory natives. It is recommended that any mature Eucalyptus that are selectively removed from site are replaced with Mountain Beech (*Fuscospora cliffortioides*) or Red Beech (*Nothofagus fusca*) trees at a 45L grade, where appropriate.



## C) LANDSCAPE MANAGEMENT AND MAINTENANCE:

### 1. *The removal of exotic and wilding species:*

- Clearance of all invasive exotic vegetation within the development area. This is to include all species identified on the Otago Regional Pest Management Plan. This includes Blackberry, Hawthorn, Rowan, Tree Lupin, Willow, Broom, Gorse other such species. The removal of these species will prevent spread into the development and into the adjacent reserve from this site which currently acts as a seed source (hawthorn, tree lupin).
- All invasive exotic species within the natural gully on the northern side of property is to be managed appropriately as part of development. Invasive species are to be selectively removed over a period of time and replaced with non-invasive, indigenous species from the approved planting palette (**Appendix B**).
- Wherever possible it is recommended that the removal of Eucalyptus trees be encouraged to improve the areas indigenous character. It is acknowledged that mature species currently provide a canopy for any indigenous underplanting, therefore any mature Eucalyptus shall be replaced with Mountain Beech (*Fuscospora cliffortioides*) or Red Beech (*Nothofagus fusca*) trees at a 45L grade, within the vicinity of the established tree.
- Where any native vegetation to be retained exists around the base of a larger tree to be removed, all necessary steps shall be taken by a suitably qualified arborist to 'dismantle' the tree in stages to ensure minimal disturbance to surrounding vegetation.
- Any trees to be removed (exotic or as identified on **Attachment I**) shall be removed by felling and dragging or lifting off site to retain the existing leaf litter layer and disturb it as little as possible. The trees shall not be removed by bull dozing and all timber and slash will be removed off site. Stumps will remain in the ground, but be poisoned with herbicide.
- Weed vegetation to be removed by weed eater and the slash taken off site.

### 2. *Protection of existing gully:*

The proposal will maintain the natural characteristics of the existing gully, located on the northern side of the property. Potential development within the gully is limited to an informal walkway and the overhang of the northern villas. All villas will be constructed on posts, ensuring minimal disturbance to the existing vegetation and landform within the gully.

### 3. *Protection of Indigenous Vegetation:*

**Attachment A** identifies the areas of existing indigenous vegetation to be retained on site. There is to be no removal or alteration of any existing indigenous vegetation other than what is indicated on the proposed plan.

Where retaining protected or notable trees, care is needed to not damage their interlocked root system or to bury them under additional fill, ensuring that the health, vigour and stability is not undermined.

The proposed villas are intended to be built on poles and utilise a pre-fab construction method, with the structures being lifted onto site. It is understood that a 2m clearance is required around the perimeter of villas (located as shown on **Attachment A**). The required construction area will be appropriately fenced to protect all existing vegetation during the construction process. Any existing vegetation destroyed by the construction process is to be replaced with a suitable species selected from **Appendix B**.

It is noted that mature trees on site provide potential nesting holes/cavities for Kakariki etc. It is recommended that nesting boxes are installed in some of the mature trees within the gully, to support indigenous fauna. This should be supported with traps at the base of the trees for pest animals.

### 4. *Weed control prior to planting:*

- Following the removal of any wilding or exotic species, the area should be left alone for some months to allow the remaining weed seeds to germinate, selectively spray the area and then proceed with planting plan (**refer Attachment F**).

- The objective of pre-planting treatment is to attain weed-free ground prior to planting. The weed growth may require cutting, trimming and removal prior to herbicide application.
- Where directed, existing grass and weed growth is to be killed by an application of translocated herbicide.

#### 5. **Planting operations:**

**Appendix B** of this report specifies the species, grades and densities for all proposed planting. Any new planting undertaken within the proposed development will be consistent with species shown in **Appendix B** and planting zones as shown on **Attachment F**. New planting shall:

- Only be undertaken when the weather is suitable, ie. mild, dull and moist, and when the ground is moist and workable. All planting operations shall be suspended during periods of severe frosts, drought, waterlogging or persistent drying winds.
- Balled and container grown plants, shall have cloth cordage or container removed immediately prior to planting. Care shall be taken to ensure that the root ball is not disturbed during container removal or planting. Any wire containment and hessian shall be removed. Plants shall be set in their final positions with main stem vertical and at such a depth that the soil, when firmed down is at the same height as the nursery earth marks on the stem or the container soil level. Loose roots shall be spread out in a natural fashion, the soil being carefully placed under and amongst them to fill all voids and firmed in. Any major roots which become accidentally broken off or frayed shall be cleanly cut off from the plant.
- Shall be performed by experienced workmen in accordance with the recognised best horticultural practice and under the supervision of a skilled foreman.

##### Planting of trees:

- All trees shall comply with the list of plant species specified in **Appendix B and Attachment F**. All trees should have evenly developed side growths and a single leader unless otherwise specified. The main stem shall be straight and the tree substantial enough to be self-supporting.
- All trees shall be vigorous, healthy, undamaged and of good shape. Planting pits shall have a diameter 200mm greater than that of the rootball. The depth should be 225mm greater than the depth of the rootball. The pit bases shall be broken up to a depth of 225mm.
- Backfill shall allow roots to be covered, then drive in stakes vertically as specified below in section 'staking and tying'. Water the tree to allow for an initial settlement then complete backfilling operation.

##### Planting of shrubs:

- All indigenous shrubs shall consist of the plant species specified in **Appendix B and Attachment F**. All plants shall be thoroughly watered or immersed in water for a period no shorter than two hours prior to planting.
- Shrubs shall display well developed branching and shape typical for genus, species and variety. The rootball shall be firm and in balance with the rest of the plant and when planted shall be placed in the planting hole and orientated to the required position.
- The planting hole shall be backfilled with the appropriate soil mixture. Soil shall be lightly consolidated with hands or heels. Soil shall not be compacted. A dish shaped area shall be formed around the base of the plant in order to retain water.

##### Planting of indigenous grass and wetland plants:

- All indigenous grasses and riparian plants shall consist of the plant species specified in **Appendix B and Attachment F**. All plants shall be thoroughly watered or immersed in water for a period no shorter than two hours prior to planting.

- Plants shall display healthy and vigorous growth in balance with their age and typical for genus, species and variety. The plants shall be placed in the planting hole and orientated to the required position.
- The planting hole shall be backfilled with the appropriate soil mixture. Soil shall be lightly consolidated with hands or heels. Soil shall not be compacted.

Rubbish:

- All rubbish, excess stakes, planter bags and undesirable debris, resulting from planting operations shall be removed from site upon completion of each planted area. Any compaction marks or other damage resulting from the planting works should also be rectified to ensure healthy growth of new plants.

**6. Maintenance (for newly planted areas):**

Maintenance shall include watering, weeding, insect and disease control and other accepted horticultural operations to ensure normal and healthy plant establishment and growth. This maintenance specification shall be applicable once each planting area is complete and shall run for a 5-year maintenance period beginning immediately once each stage of the revegetation planting is completed.

Green roof maintenance:

- On-going maintenance of green roof required and to be undertaken as per suppliers' recommendations/requirements. This is to include, but not limited to biannual inspections to:
  - Removal all weeds and seeds carried by wind (undertaken in October and April).
  - Check drainage system functioning correctly.
  - Removal of leaves etc.
  - Application of fertilizer (September and March/April)
  - Removal of damaged plants.
  - Refer supplier for additional maintenance requirements.

**7. Pesticide, herbicide and fertiliser application:**

This specification is for the use of herbicides, insecticides, fungicides, fertilisers and their application. Root competition from grasses and herbs with the restoration plants needs to be kept to a minimum. This can be achieved by mulching, spraying or a combination of both. Given the scale of the proposed planting, spraying will be the most efficient method.

- All pesticides and herbicides shall be applied in strict accordance with NZS 8409 "Code of practice for the management of agrichemicals" and the manufacturer's instructions.
- Prior to the commencement of work the Contractor shall present proof that the supervisory staff hold a current advanced applicator's qualification and all staff applying pesticides and herbicides hold a standard applicator's qualification.
- Herbicides shall not be used to control vegetation alongside the existing gully.
- Spraying of herbicides shall not take place in windy conditions and the Contractor shall be responsible for reinstating any damage caused by drift of spray. Where a translocated herbicide is used around plants in leaf an adequate guard must be used, or a suitable applicator used for spot treatment. All spraying equipment is to be carefully calibrated to prevent over or under dosing. The Contractor shall be responsible for replacing any plants damaged by misplaced herbicide.
- Care must be taken not to damage or kill any of the existing vegetation (mature trees) on the site. No herbicide containers, empty or full, are to be left unattended on site at any time.
- Where directed, existing grass and weed growth is to be killed by an application of translocated herbicide.
- The Contractor shall ensure that no pollution to any water supply occurs during spraying operations and shall be held responsible for any such pollution. The Contractor shall make good any damage caused by pollution,

drift or excessive rates of application and shall be held responsible for any claims for compensation arising from their actions or omissions.

- Pesticide and herbicide application will be measured per m<sup>2</sup>, to the nearest m<sup>2</sup>. Application shall include the provision of signage and staff monitoring of sprayed areas.

#### **8. Weed control (after planting):**

Weed control shall be by hand weeding or foliar spray of a Glyphosate herbicide. Weed control shall be frequent enough to prevent weed species flowering and seeding.

#### **9. Animal pest management:**

The control of animal pests shall be the obligation of the maintenance company. The following animals shall be controlled in particular:

- Rabbit control during early plant establishment and later (2 - 4 years).
- Control of hares throughout establishment phase and later.
- Control of possums throughout establishment phase and later.
- Control of stoats, feral cats and other predatory animals to protect and enhance the existing birdlife.

Methods of animal control shall be restricted to non-chemical methods such as trapping.

#### **10. Reporting:**

##### Noxious Pests:

- The Contractor shall monitor pests and advise the site manager if any additional control operations are required.

##### Pests and Diseases:

- The Contractor shall promptly report all animal, insect or fungal infestations to the site manager.

#### **11. Water generally:**

Attention must be paid to watering during and after planting to ensure successful establishment. Notwithstanding any prevailing restrictions by the local authority on the use of water for watering any plants, the Contractor shall be deemed totally responsible for making any special arrangements which may be necessary to ensure regular and adequate watering of trees and shrubs to ensure successful establishment.

In the interests of good horticultural practice watering shall be sufficient to give 300mm minimum depth penetration and not just surface dampening. The Contractor shall bring to the site sufficient water carts, hoses and sprinklers to provide an adequate water supply to the plant material.

All plants are to be watered after planting in order to obtain good contact of soil and root system. The watering shall be carried out with low pressure to avoid erosion. The watering has to be carried out disregarding of the moisture content of the soil or any rain to be expected after the planting.

The Contractor shall be fully responsible for any watering required after the planting which is necessary for the successful establishment of the planting. In the case of water becoming unavailable on the site or restricted by the authorities, it shall be solely the Contractor's responsibility to make special arrangements in order to ensure adequate watering of the plants.

Drought Conditions: Lack of availability of water shall not release the Contractor from his obligation to replace all dead or dying plants at the end of the first season of growth after planting. The price submitted shall allow for adequate watering and, when not directed, the site manager shall not need to remind the Contractor of his obligation during periods of drought. If water supply is likely to be restricted, inform the site manager without delay and ascertain availability and

cost of second-class water from a sewage works or other approved source. If planting has not been carried out, do not do so until instructed.

### **12. Monthly establishment report:**

An accurate and up to date monthly report on plant condition and establishment works undertaken shall be submitted to the site manager within 5 days of the end of each month. A sample of the 'Monthly Establishment Report' is provided at the back of this document.

Information to be provided in this report shall include details of watering, weed control, trimming, pests and diseases noticed on site, and any other works carried out to aid establishment of landscape areas.

This report shall also detail all plant losses or landscape damage. Any unreported damage or plant losses will be deemed the responsibility of the Contractor.

### **13. Plant losses and replacement:**

#### Losses

- Plant losses of up to 10% are acceptable at the end of the 5-year maintenance period, without replacements being required.
- The site manager may determine losses of a single species greater than 25% are due to extreme weather and are therefore not the Contractors responsibility.

#### Replacements

- Replacements to make good defects shall be planted during the planting season immediately following their loss. Replacements shall be the same as those specified, unless otherwise agreed between the site manager and Contractor and included within **Appendix B**.

#### Vandalism and Theft of Plants

- Any plants vandalised or stolen shall be recorded on the 'Monthly Establishment Report' and notified to the Reserve Manager. The plants shall be removed and replaced where ordered.
- Plant loss due to vandalism about which the site manager is not notified shall be assumed a result of planting operations and replacement shall be at the Maintenance Contractor's cost.
- The site manager will determine the value of plants or other landscape works lost due to theft, willful damage or vandalism.

# LANDSCAPE CONSTRUCTION MONTHLY ESTABLISHMENT REPORT

Contract No: \_\_\_\_\_  
Job Name: Landscape Works  
Contractor: \_\_\_\_\_  
Defects Liability Period: From: \_\_\_\_\_ To: \_\_\_\_\_

Inspection Date	Watering	Weed Control	Litter Removal	Mowing/ Trimming	Plant Loss/ Lawn Damage	Cause of Damage	Signed

I confirm that the above inspections and work were carried out during this period.  
Signed: \_\_\_\_\_  
Date: \_\_\_\_\_  
Company: \_\_\_\_\_



## Appendix C: Landscape Maintenance and Management Plan

### A) INTRODUCTION:

This document sets out the landscape management and maintenance for the proposed site at Waimarino, Bobs Cove (Lot 100 DP 494333 and Section 28 Block Mid Wakatipu SD).

The purpose of this document is to outline methods and measures to be implemented during the construction phase of the proposal as well as the on-going site management and maintenance, ensuring that the proposed development avoids, remedies or mitigates potential adverse effects on the ecology, landscape character and visual amenity values.

*Note: refer to the Ecology Report by Dawn Palmer for analysis on existing site vegetation.*

The following Baxter Design **Attachments** are referred to in this document:

- Attachment E:** Site Masterplan
- Attachment F:** Proposed Planting Zones
- Attachment I:** Existing Vegetation to be Removed and Retained
- Appendix B:** Planting Palette

### B) OBJECTIVES:

The overall management goal for the proposed site is to encourage and enhance the biodiversity of the site and allow the site planting to integrate with the wider vegetation patterns in the surrounding vicinity.

As identified on **Attachment I**, there are 35 protected trees identified on the site which have previously been identified as part of **RM130174**. In addition, there are notable clusters and single trees which have been acknowledged as part of this application. Further details of this notable vegetation is identified within Dawn Palmers Ecology Report.

The proposed development acknowledges the importance of the previously unidentified trees of significance and the initial design layout has been reviewed to respond to this information. Where it is not plausible to retain protected and significant trees, the proposal takes opportunity to replace the removed trees with Mountain Beech (*Fuscospora cliffortioides*) and Red Beech (*Nothofagus fusca*) trees at a 45L grade/an approximate height of 2-3m.

The proposal includes approximately 6430m<sup>2</sup> of indigenous revegetation, with a diverse range of species which are found in the local environment (**refer Appendix B**). The proposed planting will enhance the ecological values of the site, provide a range of suitable food sources and refuge for native fauna and maintain the landscape character of the Bobs Cove area.

Site restoration is encouraged through selective removal of exotic and wilding species on site, such as Hawthorn, Pines and Eucalyptus. The Eucalyptus were previously introduced into the area to provide wood fuel for the kilns and now the mature species provide a canopy for the understory natives. It is recommended that any mature Eucalyptus that are selectively removed from site are replaced with Mountain Beech (*Fuscospora cliffortioides*) or Red Beech (*Nothofagus fusca*) trees at a 45L grade, where appropriate.

## C) LANDSCAPE MANAGEMENT AND MAINTENANCE:

### 1. *The removal of exotic and wilding species:*

- Clearance of all invasive exotic vegetation within the development area. This is to include all species identified on the Otago Regional Pest Management Plan. This includes Blackberry, Hawthorn, Rowan, Tree Lupin, Willow, Broom, Gorse other such species. The removal of these species will prevent spread into the development and into the adjacent reserve from this site which currently acts as a seed source (hawthorn, tree lupin).
- All invasive exotic species within the natural gully on the northern side of property is to be managed appropriately as part of development. Invasive species are to be selectively removed over a period of time and replaced with non-invasive, indigenous species from the approved planting palette (**Appendix B**).
- Wherever possible it is recommended that the removal of Eucalyptus trees be encouraged to improve the areas indigenous character. It is acknowledged that mature species currently provide a canopy for any indigenous underplanting, therefore any mature Eucalyptus shall be replaced with Mountain Beech (*Fuscospora cliffortioides*) or Red Beech (*Nothofagus fusca*) trees at a 45L grade, within the vicinity of the established tree.
- Where any native vegetation to be retained exists around the base of a larger tree to be removed, all necessary steps shall be taken by a suitably qualified arborist to 'dismantle' the tree in stages to ensure minimal disturbance to surrounding vegetation.
- Any trees to be removed (exotic or as identified on **Attachment I**) shall be removed by felling and dragging or lifting off site to retain the existing leaf litter layer and disturb it as little as possible. The trees shall not be removed by bull dozing and all timber and slash will be removed off site. Stumps will remain in the ground, but be poisoned with herbicide.
- Weed vegetation to be removed by weed eater and the slash taken off site.

### 2. *Protection of existing gully:*

The proposal will maintain the natural characteristics of the existing gully, located on the northern side of the property. Potential development within the gully is limited to an informal walkway and the overhang of the northern villas. All villas will be constructed on posts, ensuring minimal disturbance to the existing vegetation and landform within the gully.

### 3. *Protection of Indigenous Vegetation:*

**Attachment A** identifies the areas of existing indigenous vegetation to be retained on site. There is to be no removal or alteration of any existing indigenous vegetation other than what is indicated on the proposed plan.

Where retaining protected or notable trees, care is needed to not damage their interlocked root system or to bury them under additional fill, ensuring that the health, vigour and stability is not undermined.

The proposed villas are intended to be built on poles and utilise a pre-fab construction method, with the structures being lifted onto site. It is understood that a 2m clearance is required around the perimeter of villas (located as shown on **Attachment A**). The required construction area will be appropriately fenced to protect all existing vegetation during the construction process. Any existing vegetation destroyed by the construction process is to be replaced with a suitable species selected from **Appendix B**.

It is noted that mature trees on site provide potential nesting holes/cavities for Kakariki etc. It is recommended that nesting boxes are installed in some of the mature trees within the gully, to support indigenous fauna. This should be supported with traps at the base of the trees for pest animals.

### 4. *Weed control prior to planting:*

- Following the removal of any wilding or exotic species, the area should be left alone for some months to allow the remaining weed seeds to germinate, selectively spray the area and then proceed with planting plan (**refer Attachment F**).



- The objective of pre-planting treatment is to attain weed-free ground prior to planting. The weed growth may require cutting, trimming and removal prior to herbicide application.
- Where directed, existing grass and weed growth is to be killed by an application of translocated herbicide.

#### 5. **Planting operations:**

**Appendix B** of this report specifies the species, grades and densities for all proposed planting. Any new planting undertaken within the proposed development will be consistent with species shown in **Appendix B** and planting zones as shown on **Attachment F**. New planting shall:

- Only be undertaken when the weather is suitable, ie. mild, dull and moist, and when the ground is moist and workable. All planting operations shall be suspended during periods of severe frosts, drought, waterlogging or persistent drying winds.
- Balled and container grown plants, shall have cloth cordage or container removed immediately prior to planting. Care shall be taken to ensure that the root ball is not disturbed during container removal or planting. Any wire containment and hessian shall be removed. Plants shall be set in their final positions with main stem vertical and at such a depth that the soil, when firmed down is at the same height as the nursery earth marks on the stem or the container soil level. Loose roots shall be spread out in a natural fashion, the soil being carefully placed under and amongst them to fill all voids and firmed in. Any major roots which become accidentally broken off or frayed shall be cleanly cut off from the plant.
- Shall be performed by experienced workmen in accordance with the recognised best horticultural practice and under the supervision of a skilled foreman.

##### Planting of trees:

- All trees shall comply with the list of plant species specified in **Appendix B and Attachment F**. All trees should have evenly developed side growths and a single leader unless otherwise specified. The main stem shall be straight and the tree substantial enough to be self-supporting.
- All trees shall be vigorous, healthy, undamaged and of good shape. Planting pits shall have a diameter 200mm greater than that of the rootball. The depth should be 225mm greater than the depth of the rootball. The pit bases shall be broken up to a depth of 225mm.
- Backfill shall allow roots to be covered, then drive in stakes vertically as specified below in section 'staking and tying'. Water the tree to allow for an initial settlement then complete backfilling operation.

##### Planting of shrubs:

- All indigenous shrubs shall consist of the plant species specified in **Appendix B and Attachment F**. All plants shall be thoroughly watered or immersed in water for a period no shorter than two hours prior to planting.
- Shrubs shall display well developed branching and shape typical for genus, species and variety. The rootball shall be firm and in balance with the rest of the plant and when planted shall be placed in the planting hole and orientated to the required position.
- The planting hole shall be backfilled with the appropriate soil mixture. Soil shall be lightly consolidated with hands or heels. Soil shall not be compacted. A dish shaped area shall be formed around the base of the plant in order to retain water.

##### Planting of indigenous grass and wetland plants:

- All indigenous grasses and riparian plants shall consist of the plant species specified in **Appendix B and Attachment F**. All plants shall be thoroughly watered or immersed in water for a period no shorter than two hours prior to planting.

- Plants shall display healthy and vigorous growth in balance with their age and typical for genus, species and variety. The plants shall be placed in the planting hole and orientated to the required position.
- The planting hole shall be backfilled with the appropriate soil mixture. Soil shall be lightly consolidated with hands or heels. Soil shall not be compacted.

Rubbish:

- All rubbish, excess stakes, planter bags and undesirable debris, resulting from planting operations shall be removed from site upon completion of each planted area. Any compaction marks or other damage resulting from the planting works should also be rectified to ensure healthy growth of new plants.

**6. Maintenance (for newly planted areas):**

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## **13. Plant losses and replacement:**

### Losses

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- The site manager may determine losses of a single species greater than 25% are due to extreme weather and are therefore not the Contractors responsibility.

### Replacements

- Replacements to make good defects shall be planted during the planting season immediately following their loss. Replacements shall be the same as those specified, unless otherwise agreed between the site manager and Contractor and included within **Appendix B**.

### Vandalism and Theft of Plants

- Any plants vandalised or stolen shall be recorded on the 'Monthly Establishment Report' and notified to the Reserve Manager. The plants shall be removed and replaced where ordered.
- Plant loss due to vandalism about which the site manager is not notified shall be assumed a result of planting operations and replacement shall be at the Maintenance Contractor's cost.
- The site manager will determine the value of plants or other landscape works lost due to theft, willful damage or vandalism.

## LANDSCAPE CONSTRUCTION MONTHLY ESTABLISHMENT REPORT

Contract No: -----

Job Name: Landscape Works

Contractor: \_\_\_\_\_

Defects Liability Period: From: \_\_\_\_ To: \_\_\_\_\_

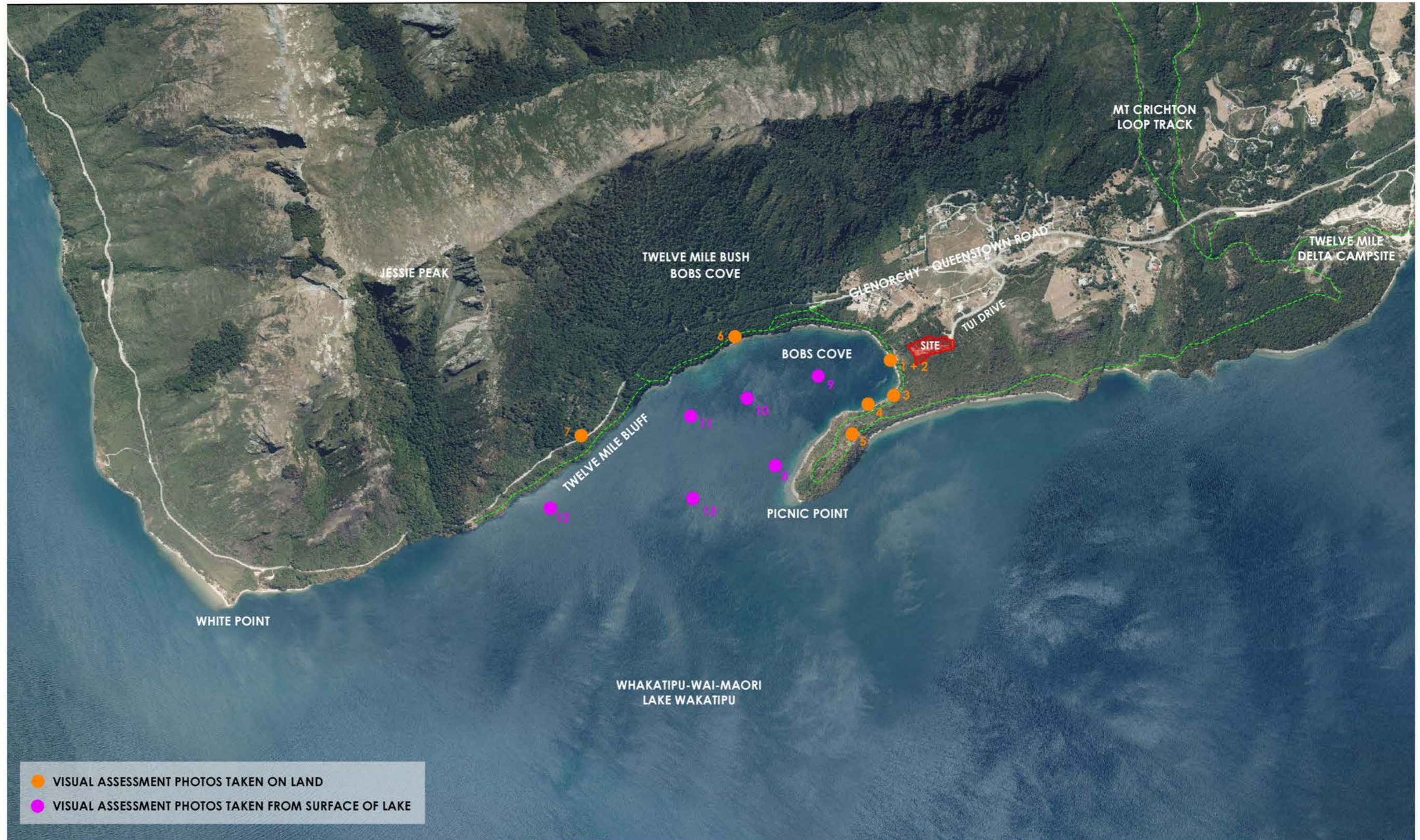
Inspection Date	Watering	Weed Control	Litter Removal	Mowing/Trimming	Plant Loss/Lawn Damage	Cause of Damage	Signed

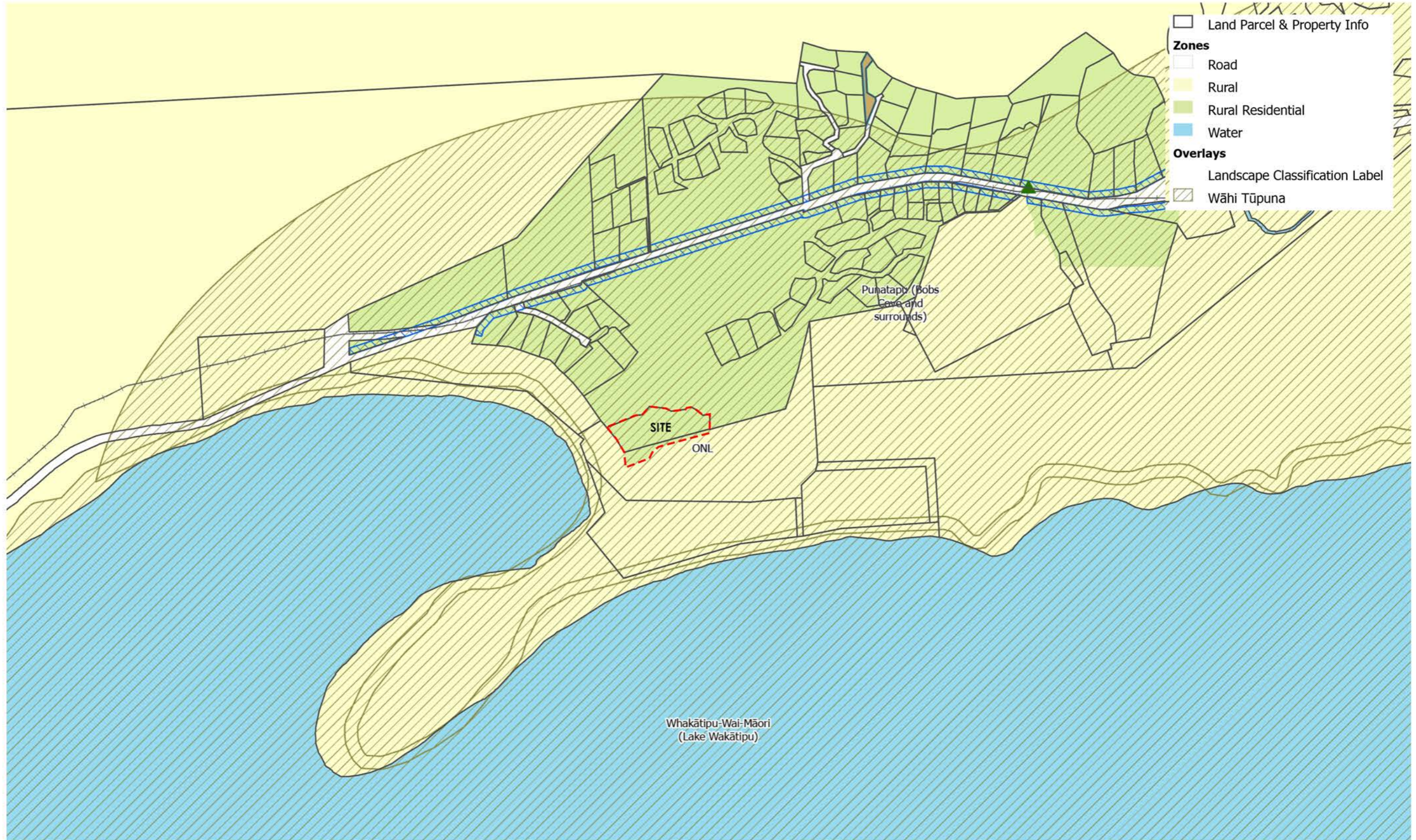
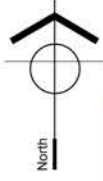
I confirm that the above inspections and work were carried out during this period.

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

Company: \_\_\_\_\_



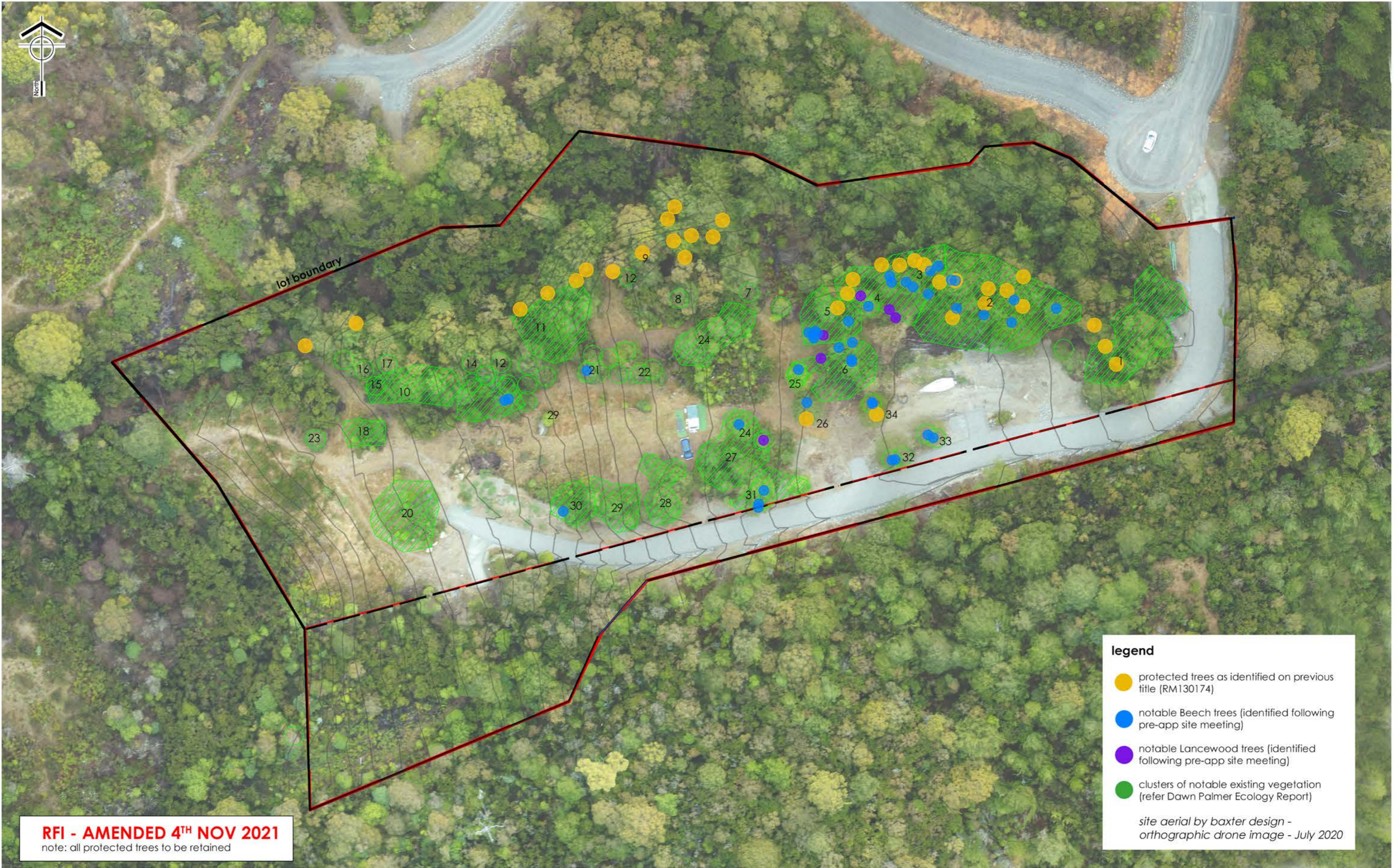


SOURCED: QLDC MAPS ARCGIS



**RFI - AMENDED 4<sup>TH</sup> NOV 2021**  
 note: refer RM130174 for approved development areas





**RFI - AMENDED 4<sup>TH</sup> NOV 2021**  
 note: all protected trees to be retained

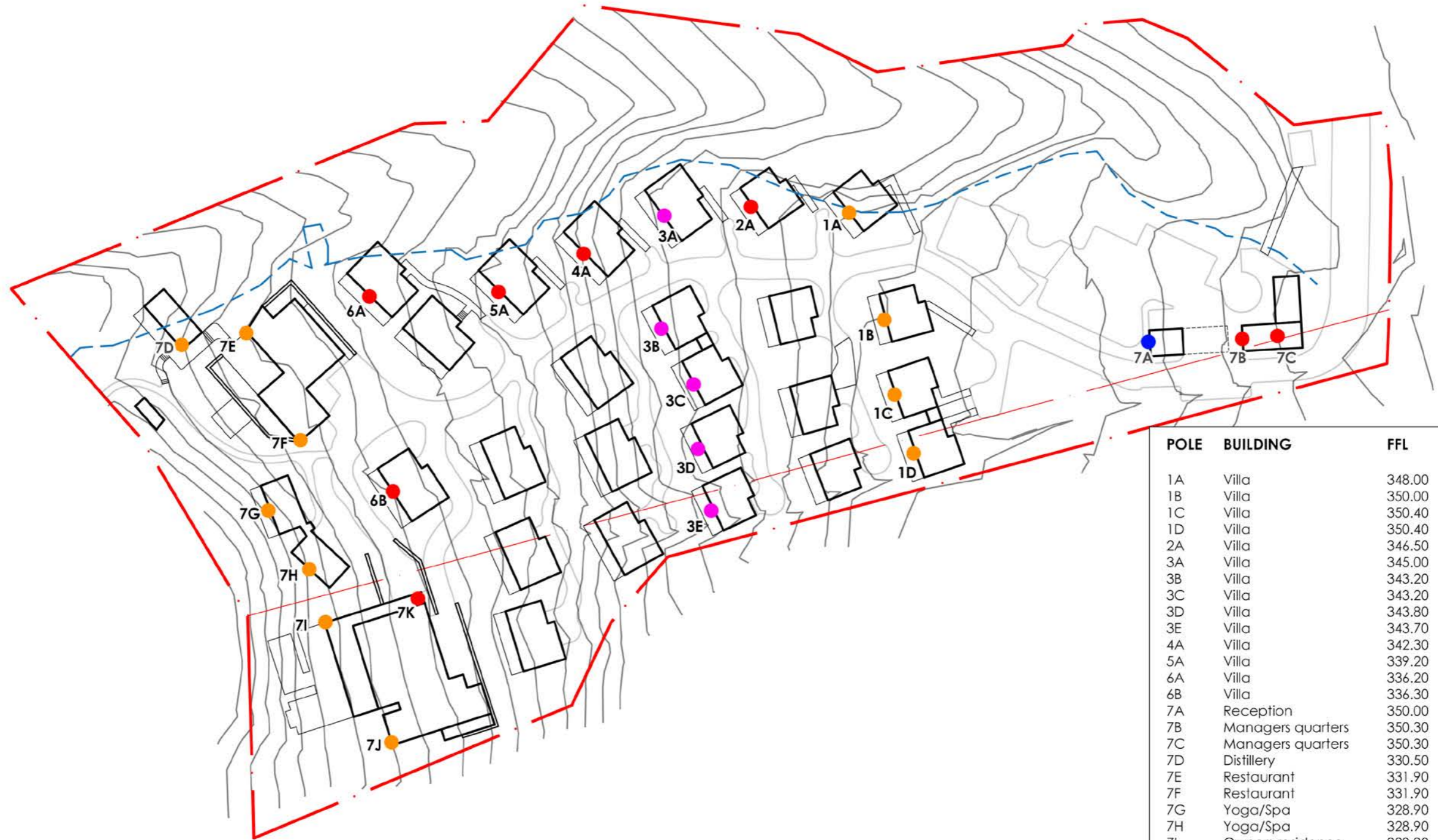
**legend**

- protected trees as identified on previous title (RM130174)
- notable Beech trees (identified following pre-app site meeting)
- notable Lancewood trees (identified following pre-app site meeting)
- clusters of notable existing vegetation (refer Dawn Palmer Ecology Report)

*site aerial by baxter design - orthographic drone image - July 2020*







POLE	BUILDING	FFL	TOP OF POLE
1A	Villa	348.00	351.00
1B	Villa	350.00	353.00
1C	Villa	350.40	353.40
1D	Villa	350.40	353.40
2A	Villa	346.50	349.50
3A	Villa	345.00	348.00
3B	Villa	343.20	346.20
3C	Villa	343.20	346.20
3D	Villa	343.80	346.80
3E	Villa	343.70	346.70
4A	Villa	342.30	345.30
5A	Villa	339.20	342.20
6A	Villa	336.20	339.20
6B	Villa	336.30	339.20
7A	Reception	350.00	354.00
7B	Managers quarters	350.30	354.30
7C	Managers quarters	350.30	354.30
7D	Distillery	330.50	333.90
7E	Restaurant	331.90	336.40
7F	Restaurant	331.90	335.40
7G	Yoga/Spa	328.90	335.90
7H	Yoga/Spa	328.90	335.90
7I	Owners residence	329.90	335.90
7J	Owners residence	329.90	335.90
7K	Owners residence	329.90	335.90

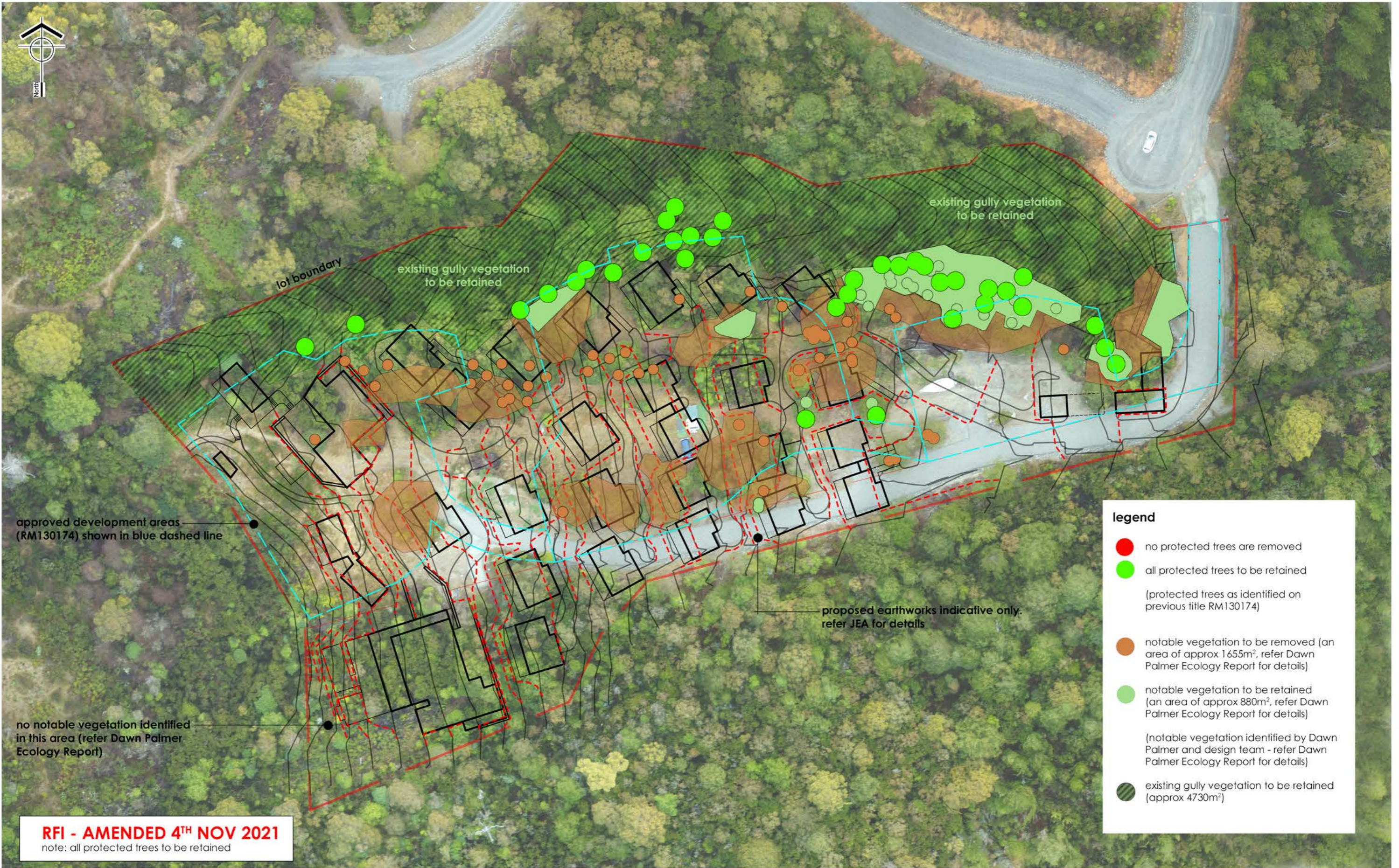
**RFI - AMENDED 4<sup>TH</sup> NOV 2021**  
 note: pole location indicative only

TOP OF POLE PAINTED AS COLOUR SHOWN



**RFI - AMENDED 4<sup>TH</sup> NOV 2021**

note: contours indicative only. refer JEA for details



**legend**

- no protected trees are removed
- all protected trees to be retained  
(protected trees as identified on previous title RM130174)
- notable vegetation to be removed (an area of approx 1655m<sup>2</sup>, refer Dawn Palmer Ecology Report for details)
- notable vegetation to be retained (an area of approx 880m<sup>2</sup>, refer Dawn Palmer Ecology Report for details)  
(notable vegetation identified by Dawn Palmer and design team - refer Dawn Palmer Ecology Report for details)
- / / / / / existing gully vegetation to be retained (approx 4730m<sup>2</sup>)

**RFI - AMENDED 4<sup>TH</sup> NOV 2021**  
 note: all protected trees to be retained



**PHOTO 1 - VIEW FROM BOBS COVE BEACH TOWARDS SITE**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK31 - PHOTO 1  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 27 MAY 2021



**PHOTO 2 - VIEW FROM BOBS COVE BEACH TOWARDS LAKE**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK31 - PHOTO 2  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 27 MAY 2021

Note: red dashed line (in above photos) provides an indication of the location and scale of the proposed development. Please refer to on-site building poles to assessment purposes.



**PHOTO 3 - VIEW FROM WALKWAY TOWARDS SITE**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK32 - PHOTO 3  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 26 MAY 2021



**PHOTO 4 - VIEW FROM JETTY TOWARDS SITE**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK32 - PHOTO 4  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 26 MAY 2021

Note: red dashed line (in above photos) provides an indication of the location and scale of the proposed development. Please refer to on-site building poles to assessment purposes.





**PHOTO 5 - VIEW FROM PICNIC POINT TOWARDS SITE**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK33 - PHOTO 5  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 26 MAY 2021



**PHOTO 6 - VIEW FROM WALKWAY TOWARDS SITE**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK33 - PHOTO 6  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 26 MAY 2021

Note: red dashed line (in above photos) provides an indication of the location and scale of the proposed development. Please refer to on-site building poles to assessment purposes.



**PHOTO 7 - VIEW FROM GLENORCHY-QUEENSTOWN ROAD**

PHOTO: JADE AU MORRIS  
REFERENCE: 3020-SK34 - PHOTO 7  
IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
50MM FOCAL LENGTH  
DATE: 4 JULY 2021

Note: red dashed line (in above photos) provides an indication of the location and scale of the proposed development. Please refer to on-site building poles to assessment purposes.



**PHOTO 8 - VIEW FROM LAKE TOWARDS SITE (APPROX 800MM FROM SITE)**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK35 - PHOTO 8  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 01 JUNE 2021



**PHOTO 9 - VIEW FROM LAKE TOWARDS SITE (APPROX 500MM FROM SITE)**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK35 - PHOTO 9  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 01 JUNE 2021

Note: red dashed line (in above photos) provides an indication of the location and scale of the proposed development. Please refer to on-site building poles to assessment purposes.



**PHOTO 10 - VIEW FROM LAKE TOWARDS SITE (APPROX 700MM FROM SITE)**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK36 - PHOTO 10  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 01 JUNE 2021



**PHOTO 11 - VIEW FROM LAKE TOWARDS SITE (APPROX 1.2KM FROM SITE)**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK36 - PHOTO 11  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 01 JUNE 2021

Note: red dashed line (in above photos) provides an indication of the location and scale of the proposed development. Please refer to on-site building poles to assessment purposes.



**PHOTO 12 - VIEW FROM LAKE TOWARDS SITE (APPROX 2KM FROM SITE)**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK37 - PHOTO 12  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 01 JUNE 2021



**PHOTO 13 - VIEW FROM LAKE TOWARDS SITE (APPROX 1.1KM FROM SITE)**

PHOTO: JADE AU MORRIS  
 REFERENCE: 3020-SK37 - PHOTO 13  
 IMAGE: PANORAMIC, MULTIPLE IMAGE STITCH,  
 50MM FOCAL LENGTH  
 DATE: 01 JUNE 2021

Note: red dashed line (in above photos) provides an indication of the location and scale of the proposed development. Please refer to on-site building poles to assessment purposes.

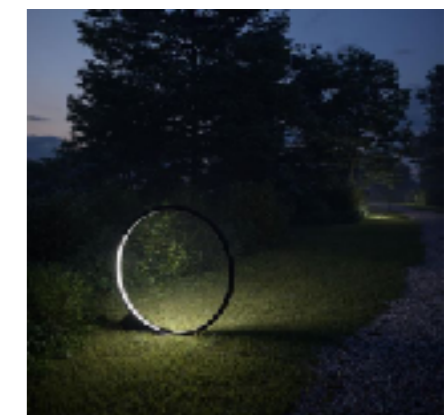
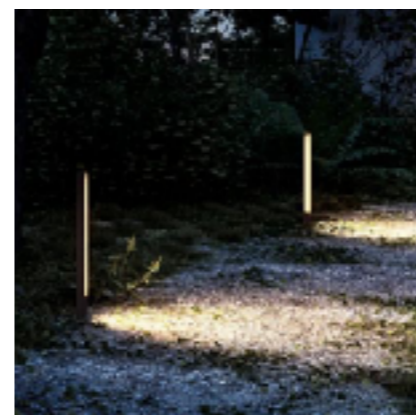




● Censored path lights

● Wall fixture entry lights

● Feature light





# AFFECTED PERSON'S APPROVAL



## FORM 8A

Resource Management Act 1991 Section 95

### # RESOURCE CONSENT APPLICANT'S NAME AND/OR RM #

B Property Group Limited

### PERSON AFFECTED PERSON'S DETAILS

I/We John Reid, Director of Bob's Cove Developments Limited

Are the owners/occupiers of

Lot 100 DP 494333 - 59 Tui Drive, Glentui Heights

### DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

Develop a luxury lodge including 24 villas, owner's residence, manager's quarters, reception, restaurant, sauna, yoga studio and distillery. All facilities will only be for the use of owners and guests.

The luxury lodge is to be subdivided into 26 lots with each of the 24 villas held in individual unit titles. The owner's residence is to be held in a separate title along with the distillery. The unit owners are subject to a management agreement whereby they are only able to use their individual unit for up to 14 days per year. The villas will remain for visitor accommodation use for the remainder of the year.

In order to construct the proposed lodge, approximately 5699m3 of earthworks is required over an area of 9,510m2.

The proposal also includes an upgrade of the wastewater treatment system which services part of the Glentui Heights subdivision. The upgraded wastewater treatment system would be located within the existing easement as shown on the plan attached and would include a building housing a wastewater treatment plant and 400m2 disposal field.

at the following subject site(s):

Lot 100 DP 494333 and Part Section 28 Blk V Mid Wakatipu SD



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.

### WHAT INFORMATION/PLANS HAVE YOU SIGHTED



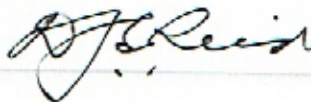
I/We have sighted and initialled ALL plans dated and approve them.

Plans attached



## APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) <b>DONALD JOHN STEWART REID Director</b>	
	Contact Phone / Email address <b>0274338225 reid@nzland.co.nz</b>	
	Signature 	Date <b>7<sup>th</sup> July 2021</b>

B	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.  
 There is no obligation to sign this form, and no reasons need to be given.  
 If this form is not signed, the application may be notified with an opportunity for submissions.  
 If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



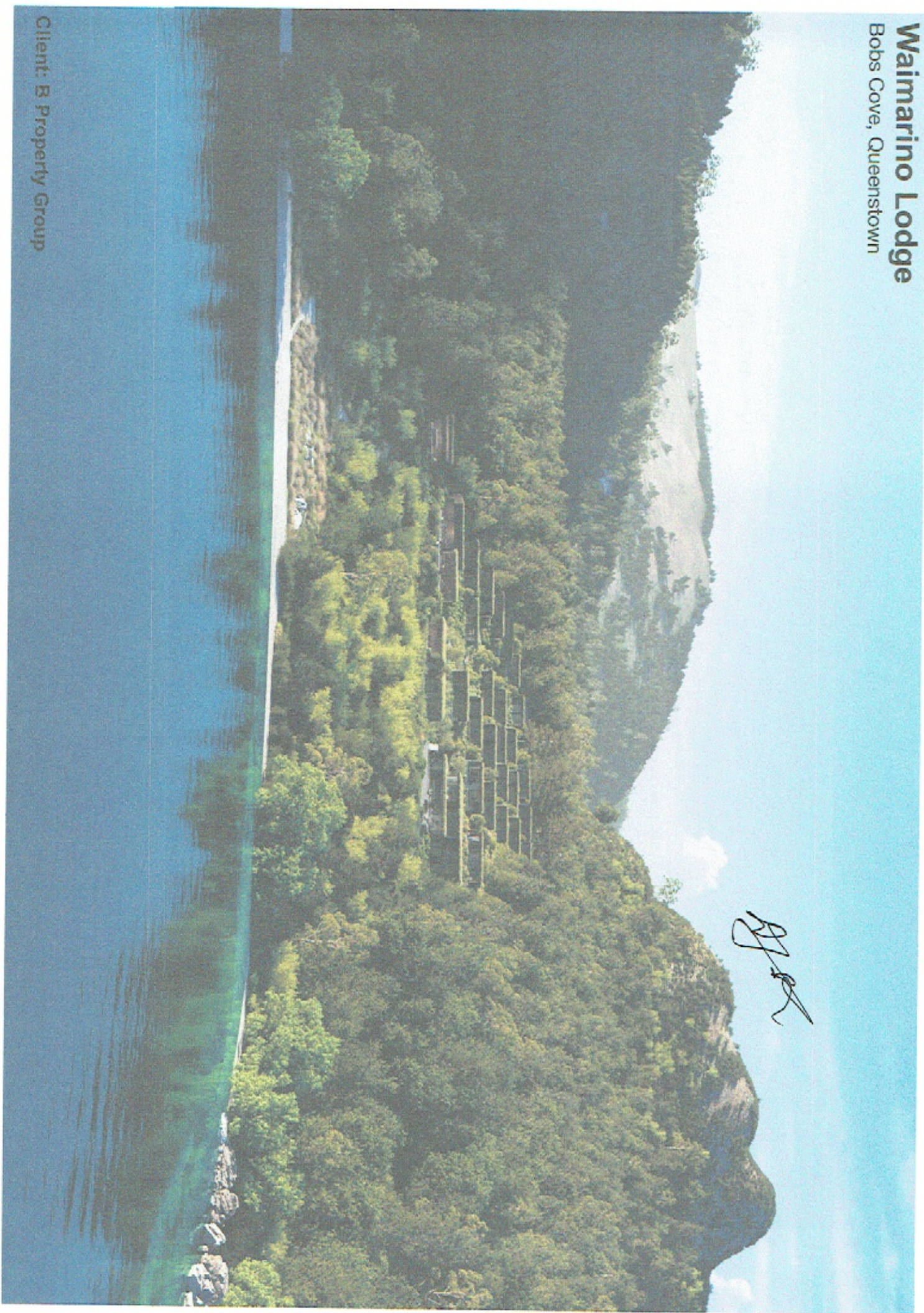
Queenstown Lakes District Council  
 Private Bag 50072, Queenstown 9348  
 Gorge Road, Queenstown 9300

P: 03 441 0499  
 E: resourceconsent@qldc.govt.nz  
 www.qldc.govt.nz



# Waimarino Lodge

Bobs Cove, Queenstown



Client: B Property Group



**BUILDING COVERAGE**

- Standard villas x10 @ 55.37m<sup>2</sup> ea
- Premium villas x6 @ 73.5m<sup>2</sup> ea
- Standard villas with high deck x2 @ 76.75m<sup>2</sup> ea
- Premium villas with high deck x4 @ 100.75m<sup>2</sup> ea
- Dual-key villas extra x2 @ 5.01m<sup>2</sup> ea
- Reception 51.5m<sup>2</sup>
- Manager's residence 49.36m<sup>2</sup>
- Restaurant 215.5m<sup>2</sup>
- Woga studio & spa 91.91m<sup>2</sup>
- Distillery 67.88m<sup>2</sup>
- Sauna 14.01m<sup>2</sup>
- Pool 40.87m<sup>2</sup>
- Owner's residence 441.47m<sup>2</sup>

- Main site area 18,061.85m<sup>2</sup>
- Main built area 2,051.39m<sup>2</sup>
- 14.83% building coverage

Note: site coverage is calculated from the exterior face of the cladding. Decks under 1m from the ground are not included.

**NOTE**

PV panels on the roofs of the top row of villas and the reception and the manager's residence

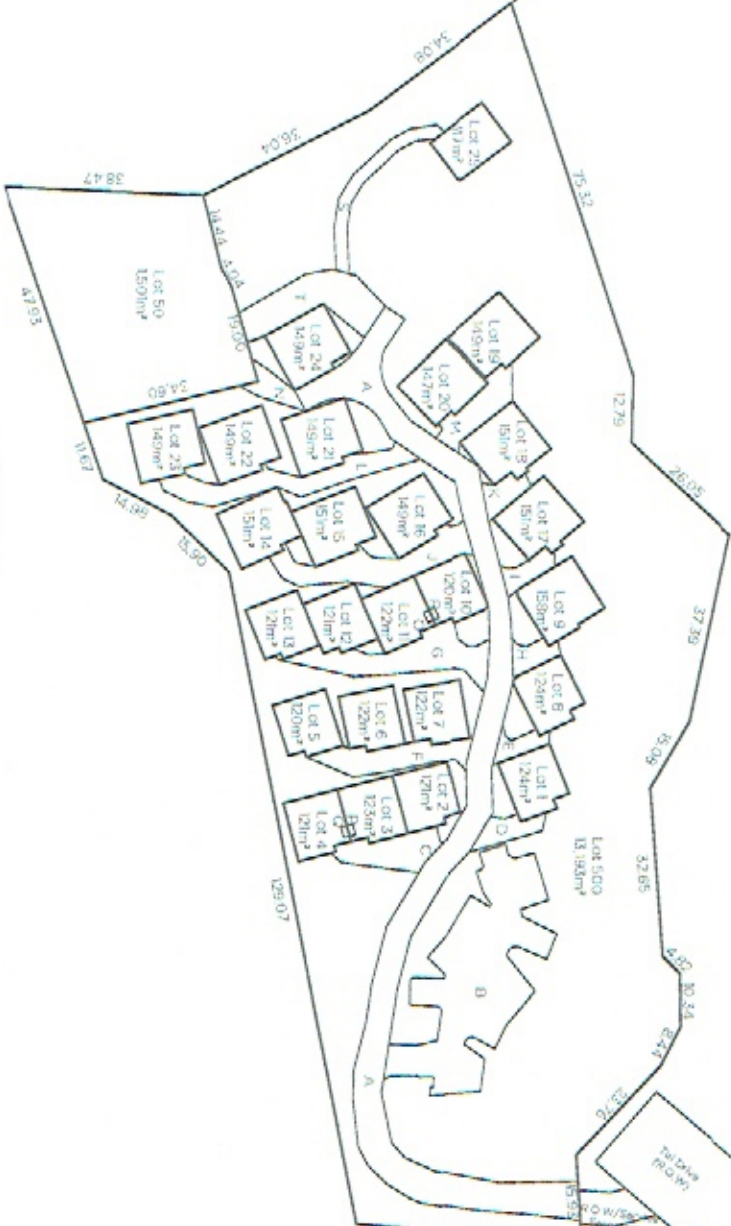
**FIRE SAFETY CONSIDERATIONS:**

We have been in consultation with the local fire service and have agreed that the development will include the following:  
 Central Detector System, to suppress any fire originating from within the development or from the surrounding doc hall  
 Industrial Sprinkler System  
 Landscape Management Plan  
 Evacuation Plans to be established  
 Early warning and communication system to warn guests  
 The above will be developed during the detailed design stage, with input and approval from FENZ. Please refer to the respective email correspondence with FENZ.

*[Handwritten signature]*



ATTACHMENT E



ISSUED FOR REVIEW - 23/04/21

SECTION 7  
 208 V 1/13 V13A AND 130A S12  
 OMC RECREATION RESERVE

SECTION 28  
 208 V 1/13 V13A AND 130A S12  
 OMC RECREATION RESERVE



CLIENT  
**B PROPERTY GROUP**

NOTES:  
 ALL DIMENSIONS ARE PER ASH ROAD/STREET/LOT  
 DIMENSIONS UNLESS OTHERWISE SPECIFIED  
 DIMENSIONS ARE TO CENTRE OF ROAD/STREET  
 DIMENSIONS ARE TO FACE OF WALL/POST

**LOTS 1 - 25, 50 & 500  
 BEING A SUBDIVISION OF LOT 100 DP 494333  
 BOB'S COVE**

*AKR*

PURPOSE	SHOWN BURDENED LAND	BENEFITED LAND
RIGHT OF WAY	A	LOT 1 - 25 & 50
	B	LOTS 2 - 4
	C	LOT 1
	D	LOT B
	E	LOTS 5 - 7
PEDESTRIAN RIGHT OF WAY	F	LOTS 10 - 13
	G	LOT 9
	H	LOT 17
	I	LOTS 14 - 16
	J	LOTS 21 - 23
ADDITIONAL SERVICE EASEMENTS WILL BE REQUIRED	K	LOTS 18 - 20
	L	LOT 25
	M	LOT 50
	N	LOT 50
	O	LOT 50

3/12/2019 10:44 - Property - Best Coordination/20/19184-08-01 8:54am Monday 23/04/2021

MT MC 2000 - NZVD16

Scale: 1:1000 @ A3

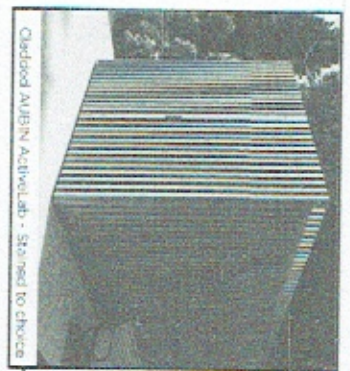
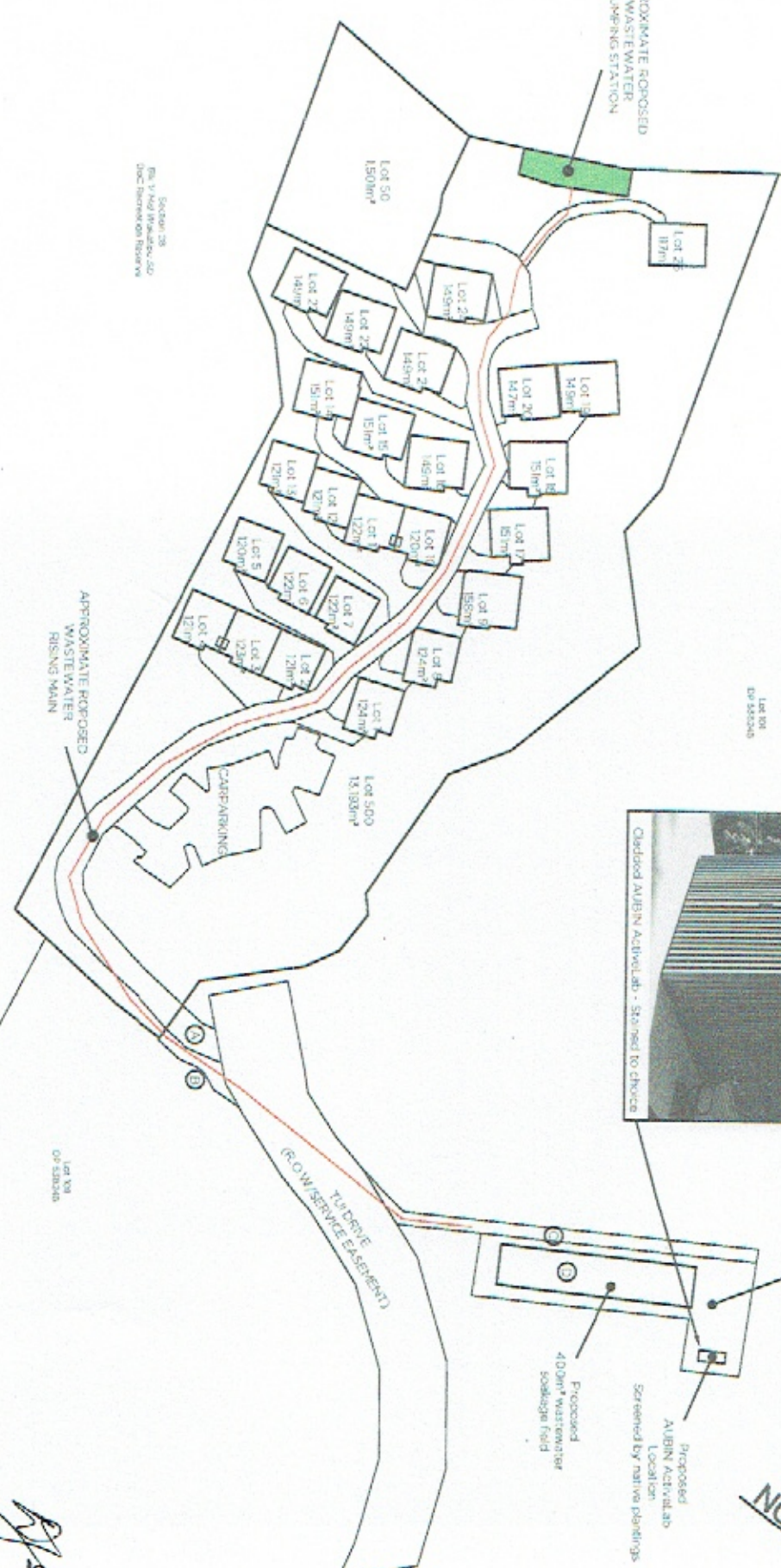
Date: 23.04.21

Job No: 19184

Sheeting No: 06.01A

11.50  
11.50  
11.50

APPROXIMATE REPOSED  
WASTE WATER  
PUMPING STATION



Older Auburn Activated Sludge - Sludge to choice

Existing tanks - to be repurposed  
in new system

Proposed  
AUBURN Activated  
Sludge  
Location  
Screened by native plantings

Proposed  
400m<sup>2</sup> wastewater  
soakage field



Section 28  
The Planning and Development Act  
2021 (Section 28)

APPROXIMATE REPOSED  
WASTE WATER  
RISING MAIN

Lot 101  
of 2000

**JECA**  
1000 PLANNERS  
& SURVEYORS

ISSUED FOR REVIEW - 15.06.21

CLIENT  
**B PROPERTY GROUP**

- NOTES:
- ALL DIMENSIONS SHOWN ARE IN METRES UNLESS OTHERWISE SPECIFIED
  - DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED
  - DIMENSIONS TO CENTRE UNLESS OTHERWISE SPECIFIED
  - DIMENSIONS TO SURFACE UNLESS OTHERWISE SPECIFIED

**PROPOSED WASTEWATER LAYOUT**

**WAIMARINO  
BOB'S COVE**

REV	DATE	REVISION DETAILS

ST	DATE	ZONE	SCALE	DESIGNED BY
CW	15.06.21	CW	1:1000m @ A3	MT/MC 2000 - NZVD16

**Existing Easements**

Area	Area No.	Discipline	Date
Area A	105205275	Discipline	10/05/2021
Area B-C	105205227	Discipline	10/05/2021
Area D	619432710	Discipline	10/05/2021

Lot 101  
DR Shores

Lot 101  
DR Shores



SECTION 1  
SE V Road Reserve  
DOC Recreation Reserve

SECTION 2  
DR V Road Reserve  
DOC Recreation Reserve

**EARTHWORKS DEPTH KEY:**

- Fill Depth 0.15m to 0.5m
- Fill Depth 0.5m to 1.0m
- Fill Depth 1.0m to 1.5m
- Fill Depth 1.5m to 2.0m
- Fill Depth 2.0m to 2.5m
- Cut Depth 0.15m to 0.5m
- Cut Depth 0.5m to 1.0m
- Cut Depth 1.0m to 1.5m
- Cut Depth 1.5m to 2.0m
- Cut Depth 2.0m to 2.5m
- Cut Depth 2.5m to 3.0m
- Cut Depth 3.0m to 3.5m

**EARTHWORKS SUMMARY**

VOLUMES  
Cut 2,570m<sup>3</sup>  
Fill 3,120m<sup>3</sup>  
Area 9,510m<sup>2</sup>

**NOTES**

- Original ground surface surveyed by 985 in 1984.
- Ground surface shown is a proposed surface.
- Boundaries are shown as per 1984.
- Clearance shown 1.0m.
- No allowance has been made for topsoil.
- Cut/Fill between 1.0m and 2.5m has been assumed.
- No allowance has been made for the time of construction.

*[Handwritten signature]*

ISSUED FOR REVIEW - 6.7.21



**CLIENT**  
**B Property Group**

**NOTES:**

- ALL DIMENSIONS SHOWN ARE IN METERS UNLESS OTHERWISE STATED.
- DIMENSIONS TO FACE UNLESS OTHERWISE STATED.
- DIMENSIONS TO FACE UNLESS OTHERWISE STATED.
- DIMENSIONS TO FACE UNLESS OTHERWISE STATED.

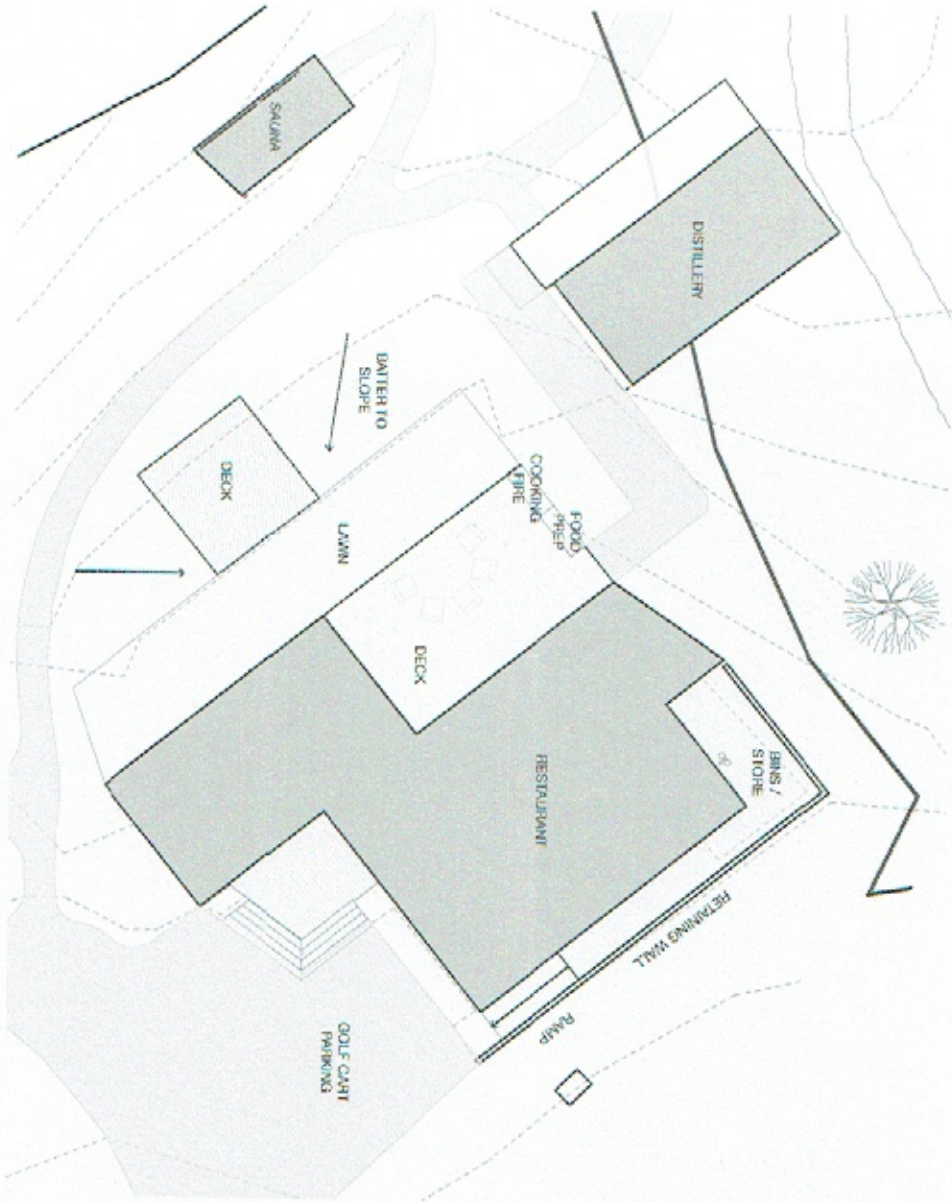
**Earthworks Plan - Sheet 1 of 4**  
**Waimarino Development**  
**Bobs Cove**

REV	DATE	REVISION/DETAILS	BY	CHECKED	DATE	JOB NO	DRAWING NO
1	6.7.21	ISSUE FOR TENDERS	CW	CW	19184	04.01	
2	06.07.21	DATE FOR TENDERS	CW	CW	06.07.21	1:1 @ A3	

MT NIC 2000 - NZVD16



3001 1091 AB  
 10/10/2020  
 20/07/21  
 12:00  
 19037  
 A06  
 A



PROJECT NO: 190337  
 PROJECT NAME: Restaurant & Distillery  
 CLIENT: B Hygiene Group  
 DATE: 12/07/2021  
 DRAWING NO: 190337-01  
 SCALE: 1:200  
 SHEET NO: A

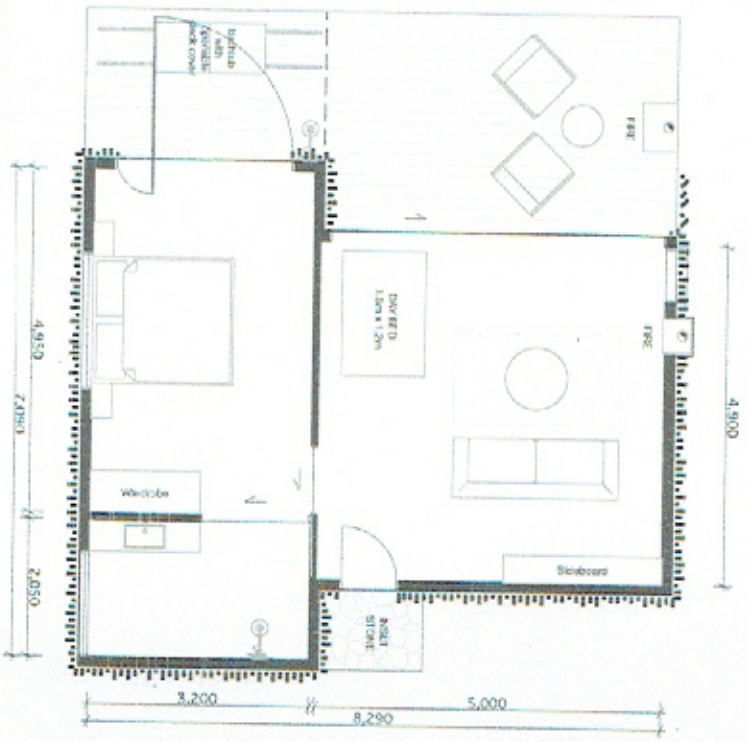
DESIGNER: B Hygiene Group  
 ARCHITECT: DBA DESIGNBASE  
 DATE: 12/07/2021  
 SCALE: 1:200  
 SHEET NO: A

PROJECT NO: 190337  
 PROJECT NAME: Restaurant & Distillery  
 CLIENT: B Hygiene Group  
 DATE: 12/07/2021  
 DRAWING NO: 190337-01  
 SCALE: 1:200  
 SHEET NO: A

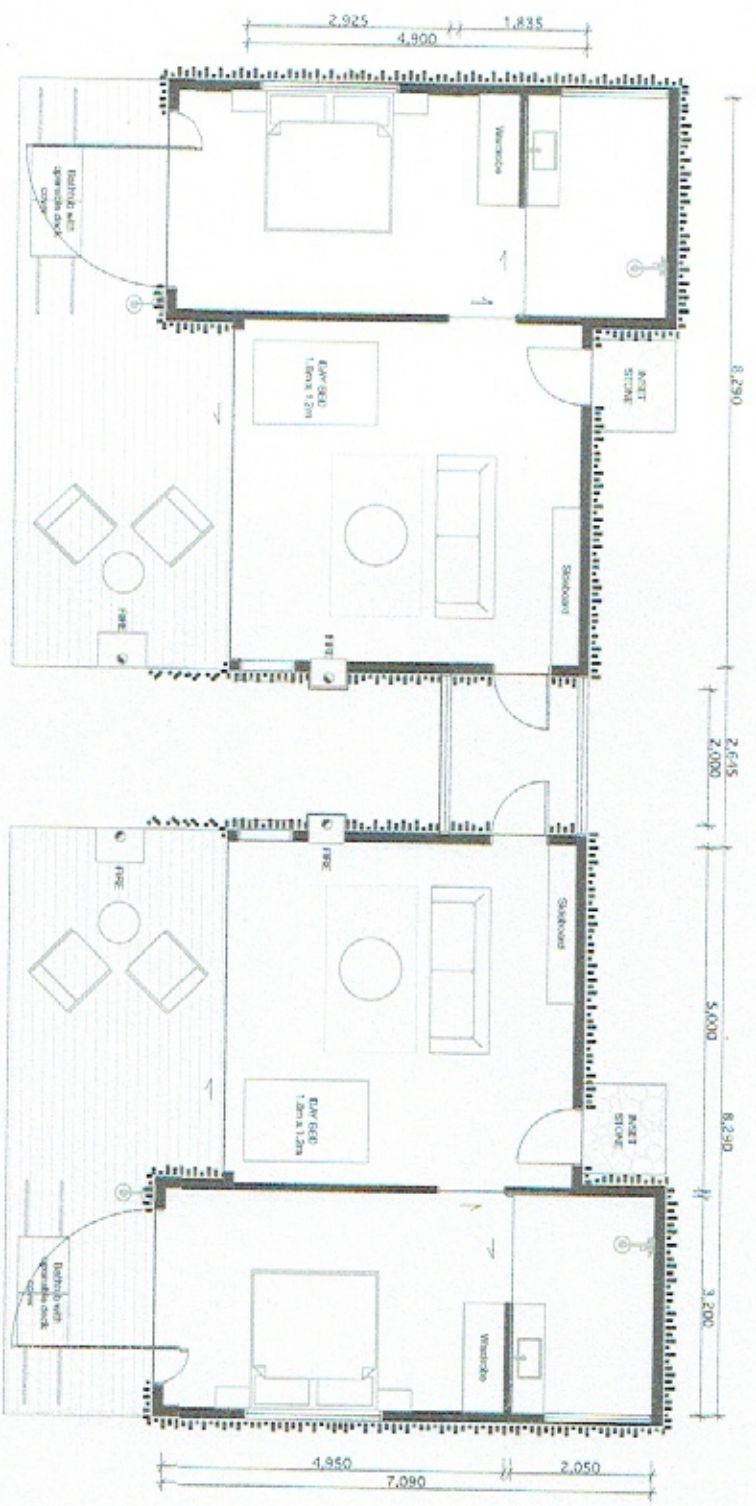
PROJECT NO: 190337  
 PROJECT NAME: Restaurant & Distillery  
 CLIENT: B Hygiene Group  
 DATE: 12/07/2021  
 DRAWING NO: 190337-01  
 SCALE: 1:200  
 SHEET NO: A

*[Handwritten signature]*



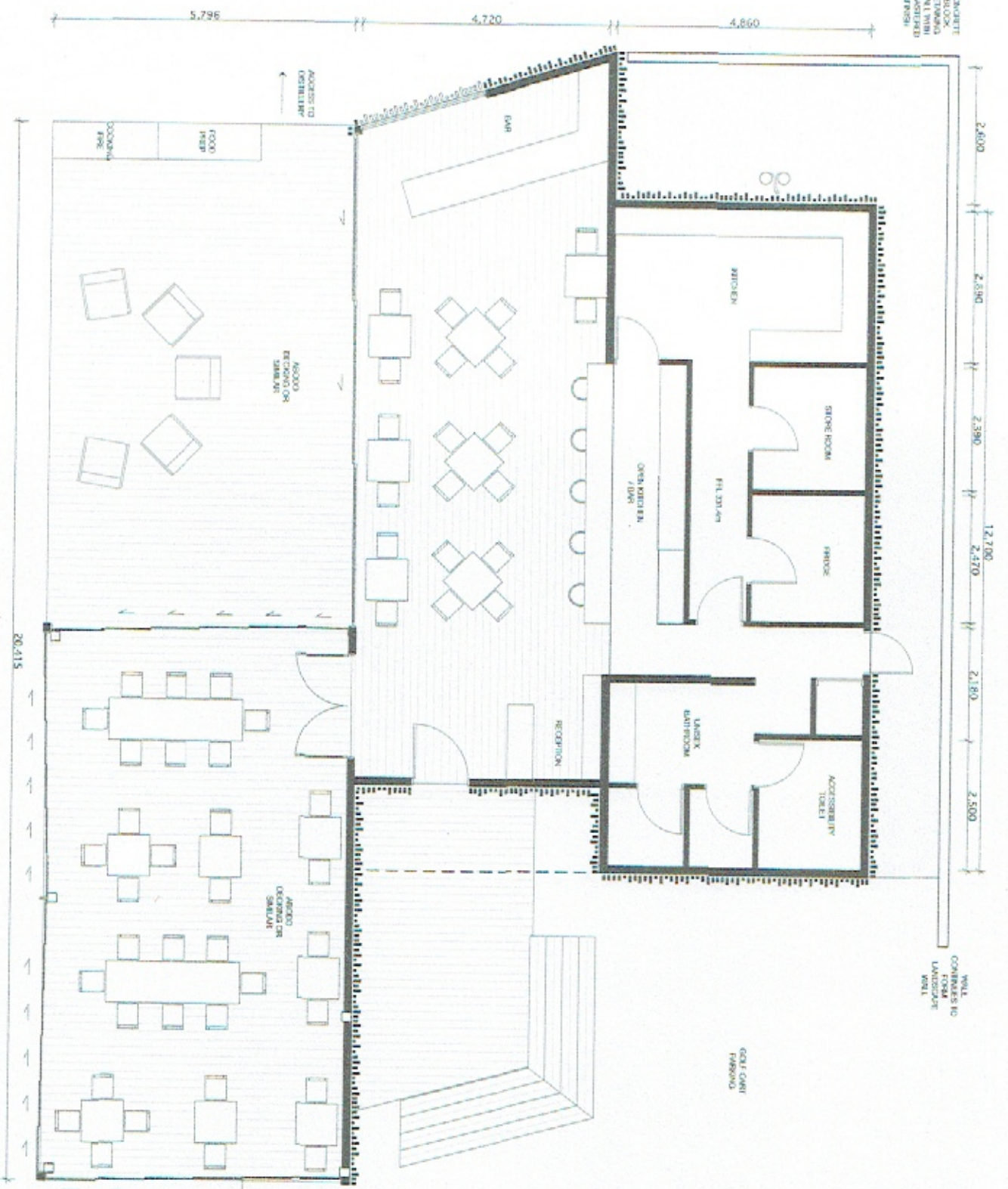


*[Handwritten signature]*



**Dual-Key Villa**  
 Scale: 1:75

CONCRETE  
BLOCK  
WALL WITH  
FLASHEED  
FINISH



59 S. Dora, Queensland  
**Restaurant Floor Plan**  
 Scale 1:75

*Signature*

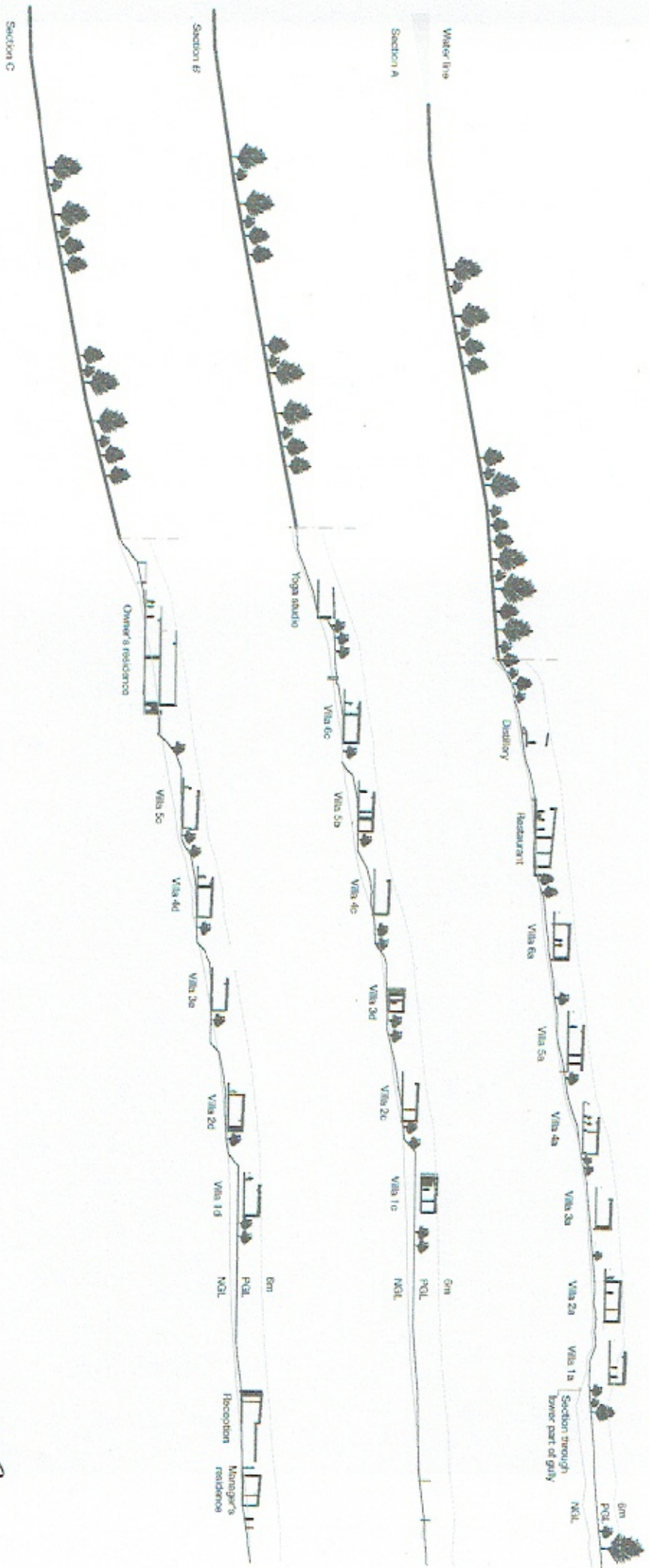
3603 10042  
 1000/1000/1000  
 Architectural Design - Nelson  
 08.07.21 Planning Council Submission  
 REV DATE DESCRIPTION

DATE 08.07.21  
 DRAWN BY 1000/1000/1000  
 CHECKED BY 1000/1000/1000  
 PROJECT NO. 3603 10042

PROJECT NO. 3603 10042

PROJECT NO. 3603 10042  
**Restaurant Floor Plan**  
 SCALE 1:75  
 PROJECT NUMBER 19037  
 SHEET NO. A12

A



*Signature*

PROJECT NO. 2001-00042	CLIENT B Property Group	DATE 09/11/20	SCALE 1:750
PROJECT NAME Strategic Concept Substation	PROJECT NO. 2001-00042	DATE 09/11/20	SCALE 1:750
PROJECT NO. 2001-00042	CLIENT B Property Group	DATE 09/11/20	SCALE 1:750
PROJECT NAME Strategic Concept Substation	PROJECT NO. 2001-00042	DATE 09/11/20	SCALE 1:750
PROJECT NO. 2001-00042	CLIENT B Property Group	DATE 09/11/20	SCALE 1:750
PROJECT NAME Strategic Concept Substation	PROJECT NO. 2001-00042	DATE 09/11/20	SCALE 1:750
PROJECT NO. 2001-00042	CLIENT B Property Group	DATE 09/11/20	SCALE 1:750
PROJECT NAME Strategic Concept Substation	PROJECT NO. 2001-00042	DATE 09/11/20	SCALE 1:750